



Borough of Hatfield

Montgomery County, Pennsylvania

PLANNING COMMISSION

July 6, 2020 7:00PM

Via Zoom

Registration Required

Or In Person

SOCIAL DISTANCING REQUIRED

Masks / Face Covering must be worn to enter the building
and in common areas of the building.

REORGANIZATION

NOMINATIONS

- A. CHAIRPERSON
- B. VICE-CHAIRPERSON

Call to Order / Roll Call

Michelle Kroesser

Kenneth Farrall

Lawrence G. Stevens John Kroesser Larry Burns

1. Motion to Approve the July 6, 2020 Agenda
2. Motion to Approve the March 3, 2020 Meeting Minutes
3. Old Business:
 - A. 2020 Meeting Dates
 - B. No Knock Ordinance
4. New Business
 - A. Howard Heckler Subdivision Plan Update
 - B. Edinburgh Square Land Development Presentation
 - C. Bennett's Court Land Development Update
 - D. Fireworks by Permit
5. Action Items:
6. Next Meeting for April is Monday August 3, 2020 7:00PM
7. Motion to Adjourn.

401 S. Main Street
P.O. Box 190
Hatfield, PA 19440

Phone:
215-855-0781

Fax:
215-855-2075

Email:
admin@
hatfieldborough.com

Website:
www.hatfieldborough.com

**2. Motion to Approve the March 3, 2020
Meeting Minutes**

PLANNING COMMISSION
March 2, 2020 7:00PM
MEETING MINUTES

D. Glenn Snyder Michelle Kroesser
Lawrence G. Stevens John Kroesser Larry Burns

Call to Order / Roll Call

Let the record show the meeting started at 7:30pm and 3 members of the Planning Commission Ms. Kroesser, Mr. Burns, and Mr. Kroesser were present at the start of the meeting.

1. Motion to Approve the March 2, 2020 Agenda
Vice Chairwoman Michelle Kroesser called for approval of the Agenda. A Motion by Mr. Kroesser Seconded by Mr. Burns passed 3-0

2. Motion to Approve the November 4, 2019 Meeting Minutes
Vice Chairwoman Michelle Kroesser called for approval of the November 4, 2019 meeting Minutes. A Motion by Mr. Kroesser Seconded by Mr. Burns passed 3-0

3. Old Business:
 - A. HTMA Interceptor
Manager DeFinis updated the PC on the repairs to the HTMA Sanitary Sewer Line. The contractor has made significant progress on the project. The contractor ran into a portion of pipe encased in concrete. The contractor would be requesting additional funds for removing the concrete.
 - B. 2020 Meeting Dates
Manager DeFinis updated the Planning Commission on the 2020 meeting schedule.
 - C. Biblical Seminary Update
Manager updated the PC on the Biblical Seminary building. A company reached out to the Borough about the possibility

of opening an adult day care at the property. Borough Council's position is if it meets code they are ok with the idea.

D. Edinburgh Square Land Development

Manager DeFinis informed the Planning Commission the developer is interested in moving forward with a four lot subdivision. Borough Council agrees it would make sense to do the development in one phase rather than two separate phases.

E. Bennett's Court Land Development

The Developer has been directed to resolve all of the outstanding items on the review letter prepared by the Borough's engineer for the preliminary plan submission.

4. New Business

A. D. Glenn Snyder Resignation

Manager DeFinis informed the Planning Commission that Mr. Snyder had resigned from the PC. Former Borough Council member Kenneth Farrall has agreed to serve on the Commission.

B. Appointment Process

Mr. Farrall would be appointed at the next PC meeting.

C. No Knock Ordinance

Manager DeFinis informed the Planning Commission of the No Knock Ordinance being considered by Borough Council, the ordinance falls under Solicitation Permits issued by the Hatfield Police Department. Mr. Burns asked if there was a fee to be added to the list. Manager DeFinis indicated there is no charge to be added to the list.

Action Items:

5. Next Meeting for April is Monday March 30, 2020 7:00PM

6. Motion to Adjourn

Motion by Mr. Kroesser Seconded by Mr. Burns passed 3-0
Let the record show the meeting ended at 7:17PM

3. Old Business:

A. 2020 Meeting Dates

PUBLIC NOTICE

**The Borough of Hatfield Council will hold its meetings for the year 2020 on the following dates:
WORKSHOP / REGULAR MEETING. Meetings begin at 7:30 PM**

Borough Council Dates:

January 6, 2020 (Reorganization (6:30PM))
January 15, 2020
January 29, 2020
February 19, 2020
March 4, 2020
March 25, 2020
April 1, 2020
April 15, 2020
May 6, 2020
May 20, 2020
June 17, 2020
July 15, 2020
August 19, 2020
September 2, 2020
September 16, 2020 (Strategic Planning 5:30PM)
September 16, 2020
October 7, 2020
October 21, 2020
November 4, 2020
November 18, 2020
December 2, 2020
December 16, 2020

The Borough of Hatfield Planning Commission will hold its meetings for the year 2020 on the following dates. Meetings begin at 7:00 PM

Planning Commission Dates:

December 30, 2019 (January Meeting)

January 27, 2020
March 2, 2020
March 30, 2020
May 4, 2020
June 1, 2020
July 6, 2020
August 3, 2020
August 31, 2020
October 5, 2020
November 2, 2020
November 30, 2020

The Borough of Hatfield Zoning Hearing Board convenes on a case-by-case basis. Sufficient public notice will be provided when applications for a hearing are submitted. **All meetings will be held at the Hatfield Borough Municipal Complex 401 South Main Street Hatfield, PA 19440.** The public is invited and encouraged to attend. The Municipal Complex is wheel chair accessible. Any person that requires a special accommodation should contact the Borough offices at 215-855-0781 at least three days in advance of the meeting.

Michael J. DeFinis
Borough Manager/Secretary

3. Old Business:

B. No Knock Ordinance

**HATFIELD BOROUGH
MONTGOMERY COUNTY, PENNSYLVANIA
ORDINANCE NO. 536**

AN ORDINANCE OF HATFIELD BOROUGH, MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA, AMENDING CHAPTER 13 “LICENSES PERMITS AND GENERAL BUSINESS REGULATIONS”; SPECIFICALLY PROVIDING FOR REGULATION OF SOLICITING IN THE BOROUGH AND UPDATING CURRENT REGULATIONS; PROVIDING FOR PERMIT REQUIREMENTS; PROVIDING FOR A FEE FOR PERMITS ISSUED UNDER THIS ORDINANCE; PROVIDING CERTAIN REGULATIONS AND LIMITATIONS REGARDING SOLICITING AND PEDDLING WITHIN THE BOROUGH LIMITS; Providing for a “No Knock List”; PROVIDING FOR ENFORCEMENT; AND PROVIDING FOR VIOLATIONS AND PENALTIES FOR FAILING TO COMPLY WITH THE TERMS OF THIS ORDINANCE; CONTAINING A SAVINGS CLAUSE, AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Borough Council of Hatfield Borough is duly empowered by the Borough Code to enact ordinances making such regulations as are deemed necessary and appropriate relating to the public health, safety, cleanliness, convenience, comfort and general welfare of the citizens of the community of Hatfield Borough and pursuant to that power the Borough adopted Ordinance **530** Regulating soliciting and peddling within the Borough; and

WHEREAS, the Hatfield Township Police Department believes that updating the Borough’s soliciting and peddling regulations to make them similar to Hatfield Township’s regulations to add a “No Knock List” will make the regulations more effective and make it easier to enforce the regulations and Borough Council believes that doing so is in the best interest and general welfare of the residents of the Borough;

NOW THEREFORE, be it **ORDAINED** and **ENACTED**, by the Borough Council of Hatfield Borough, Montgomery County, Commonwealth of Pennsylvania, as follows:

SECTION 1. Chapter 13 of the Borough Code of Ordinances, "Licenses, Permits and General Business Regulations," shall be revised and amended to read as follows:

Part 2: SOLICITING AND PEDDLING

1. § 13-201 Definitions.

[Ord. 397, 9/24/1997, § 210; as amended by Ord. 501, 8/15/2012]

PEDDLER

Any person who shall engage in peddling as hereinabove defined.

PEDDLING

The selling or offering for sale of any goods, wares, services or merchandise for immediate delivery which the person selling or offering for sale carries with him in traveling, or has in his possession or control, upon any of the streets or sidewalks; or from house to house; or by visitation to private residences; or by entering in or upon private property within the said Borough of Hatfield (the "Borough").

PERSON

Any natural person, association, partnership, firm, organization or corporation.

SOLICITING

The seeking or taking of contracts or orders for any goods, wares, services or merchandise for future delivery, or for subscriptions or contributions, upon any of the streets or sidewalks; or from house to house; or by visitation to private residences; or by entering in or upon private property within the Borough and shall further mean the seeking or taking of contracts or orders for home or other building repairs; improvements and alterations; and also orders or contracts for any mechanical, electrical, plumbing or heating device or equipment for house; or other building improvements or repairs upon or from the places aforesaid within the said Borough. Soliciting shall also be deemed to include any and all vending trucks doing business within the Borough. The words "soliciting" and "peddling" shall not apply:

A.

To farmers seeking or taking orders for the sale of their own products.

B.

To the seeking or taking of orders by any manufacturer or producer with a principal place of business within the Borough, for the sale of bread, bakery products, meat products, milk or milk products. In addition, the word "soliciting" and "peddling" shall not apply to any owner or employee of a mobile catering service selling such items as cigarettes and food products to small industries or construction businesses where the permission has been granted to conduct said activity by the management of industry or construction workers involved therein.

C.

To the sale of goods, wares and merchandise donated by the owners thereof, the proceeds whereof are to be applied to any charitable or philanthropic purposes.

D.

To the seeking or taking of orders by insurance agents or brokers licensed under the insurance laws of the Commonwealth of Pennsylvania for insurance.

E.

To persons, corporations, partnerships and associations, their agents or employees, who have complied with the provisions of the Solicitation of Funds for Charitable Purposes Act, 10 P.S. § 162.1 et seq., governing solicitations for charitable, benevolent, patriotic or other purposes.

F.

To any person taking orders for merchandise from dealers or merchants, for resale to an ultimate consumer.

SOLICITOR

Part shall mean any person who shall engage in soliciting as hereinabove defined.

In this Part, the singular shall include the plural and the masculine shall include the feminine and the neuter.

2. § 13-202 License Required.

[Ord. 397, 9/24/1997, § 202]

No person shall engage in soliciting or peddling in the Borough without first having taken out a license as herein provided.

3. § 13-203 Application for License.

[Ord. 397, 9/24/1997, § 203]

1.

Every person desiring to engage in soliciting or peddling in the Borough shall first make application to the Police Department of Hatfield Township for a license. If such person shall also be required to obtain a license from any County officer, he shall, on making such application, exhibit a valid County license. The said application shall be upon a form provided by the Police Department and shall contain at least the following information verified by oath or affirmation:

A.

Full name of the applicant and local address, if any.

B.

Permanent address.

C.

Name of employer or a statement that such applicant is self-employed.

D.

The nature of the goods, wares, services or merchandise offered for sale.

E.

A Criminal History Request Form (SP-164) completed by the Pennsylvania State Police Central Repository or a Criminal History Record from the Pennsylvania Access to Criminal History (PATCH) System obtained at the Applicant's own cost. [A statement as to whether or not the applicant has ever been convicted of any crime and, if the answer is in the affirmative, the nature of the offense or offenses and the punishment or punishments imposed therefor.]

F.

The type of vehicle to be used, if any.

G.

Upon request, the applicant shall also submit to fingerprinting and furnish a photograph, provided:

(1)

Where a person makes application for himself and one or more helpers, all applicable personal information specified above shall be given for each helper and verified by oath or affirmation by him and an individual license shall be required for each helper. No license under this Part shall be transferable from one person to another.

4. § 13-204 License Fee.

[Ord. 397, 9/24/1997, § 204]

Licenses shall be issued under this Part for an initial period of a minimum of thirty (30) days [three months] for an amount to be established by resolution from time to time by the Borough Council which shall be paid to the Borough and shall be for the use of the Borough. Subsequent license renewals may be made for periods of 30 days [one or more months] at a rate to be established by resolution from time to time by the Borough Council. A separate application shall be filed and a separate permit fee shall be paid by each person who shall actually conduct the soliciting or peddling and shall apply where an employer desires to secure licenses for his employees, agents or servants.

5. § 13-205 Issuance of License.

[Ord. 397, 9/24/1997, § 205]

The license granted pursuant to this Part shall be valid for 30 days after the date of such license and upon the expiration of any license, if the person holding the same shall desire to continue or renew soliciting or peddling, he shall be required to file a new application for a permit and pay a new license fee. Such licenses may be issued in advance, for consecutive thirty-day periods, not exceeding 12 in number, upon payment, in advance, of a fee to be established by resolution from time to time by the Borough Council as provided in § **13-204**.

6. § 13-206 License Must Be Carried.

[Ord. 397, 9/24/1997, § 206]

Such license, when issued, shall state, inter alia, the products to be sold or services to be rendered by the licensee. Every solicitor or peddler shall, at all times when engaged in soliciting or peddling in the Borough, carry such license upon his person and shall exhibit it upon request to all police officers, Borough officials and citizens. No solicitor or peddler shall engage in selling any product or service not mentioned on such license.

7. § 13-207 Hours of Operation.

[Ord. 397, 9/24/1997, § 207]

Any person licensed as a solicitor or peddler under this Part may engage in soliciting or peddling on any day of the week between 9:00 a.m. and 7:00 [9:00] p.m.

8. § 13-208 Operation of Business on Streets and Sidewalks.

[Ord. 397, 9/24/1997, § 208]

No person licensed as a solicitor or peddler under this Part shall park any vehicle upon any of the streets, highways or alleys of the Borough in order to sort, rearrange or clean any of his goods, wares, services or merchandise; nor shall any such person place or deposit any refuse on any such street, highway or alley; nor shall any person maintain or keep a street or curbstone market by parking any vehicle upon any street or alley in the Borough for longer than necessary in order to sell therefrom to persons residing in the immediate vicinity.

9. § 13-209 Operation of Business at a Fixed Location.

[Ord. 397, 9/24/1997, § 209]

No person licensed as a solicitor or peddler under this Part shall occupy any fixed location upon any of the streets, highways, alleys or sidewalks of the Borough for the purpose of soliciting or peddling with or without any stand or counter.

10. § 13-210 A Record of Licenses to Be Kept at Police Department.

[Ord. 397, 9/24/1997, § 210]

The Police Department of Hatfield Township, which acts as the Borough's police, shall keep a record of all licenses issued under this Part. The Chief of Police shall supervise the activities of all holders of such licenses.

11. § 13-211 Revocation of License.

[Ord. 397, 9/24/1997, § 211]

Any license issued under this Part may be suspended or revoked and any application may be denied at any time by the Police Department, upon information being furnished to said Police Department that the application for the license contained false information or that the applicant

or licensee was convicted of a crime [involving moral turpitude] or that the licensee was convicted of disorderly conduct under any law of the Commonwealth of Pennsylvania or any ordinance of the Borough of Hatfield.

12. § 13-212 Use of Loud Speakers, Whistles, Bells, Etc., Prohibited.

[Ord. 397, 9/24/1997, § 212]

No person licensed as a solicitor or peddler under this Part shall hawk or cry his wares or services upon any of the streets or sidewalks of the Borough nor shall be use any loud speaker, bell, whistle or other device for announcing his presence by which the public is annoyed.

13. § 13-213 Penalties.

[Ord. 397, 9/24/1997, § 213; as amended by Ord. 501, 8/15/2012]

Any person, firm or corporation who shall violate any provision of this Part, upon conviction thereof in an action brought before a magisterial district judge in the manner provided for the enforcement of summary offenses under the Pennsylvania Rules of Criminal Procedure, shall be sentenced to pay a fine of not more than \$1,000 plus costs and, in default of payment of said fine and costs, to a term of imprisonment not to exceed 90 days. Each day that a violation of this Part continues or each section of this Part which shall be found to have been violated shall constitute a separate offense.

14. § 13-214 Interpretation.

[Ord. 397, 9/24/1997, § 214]

Where the provisions of this Part are inconsistent with the provisions of any other ordinance or regulation, the provisions of this Part shall prevail. To the extent that any prior ordinance or regulation is inconsistent with the provisions of this Part, said prior ordinance or regulation is hereby revoked and rescinded.

15. §13-215 Do Not Knock List

- A. The Police Department of the Township of Hatfield, which acts as the Borough's police department shall maintain a periodically updated Do Not Knock List of Township and Borough residents who have told the police that they do not wish to have any person, entity or association appear at their residence at any time to sell or offer for sale any good, ware, commodity, merchandise of service to any person located therein.
- B. The Chief of Police, or his designee, shall keep a record of those who have said they wish to be listed on the Do Not Knock List.
- C. The Police Chief, or his designee, shall promulgate regulations for the management of the "do Not Knock List;" the distribution of the "do Not Knock List" to peddling and soliciting licensees; notice and access of the Do Not Knock List regulations on the Township's and the Borough's website; and enforcement procedures for violations of the Do Not Knock regulations.

D. Persons, entities, or associations who sell, or offer for sale, and good, ware, commodity, merchandise or service to a person, or at an address on the Do Not Knock List shall be in violation of this Chapter, and , in addition to all other penalties set forth in this Chapter, shall have his/her/its peddling and soliciting license immediately revoked.

SECTION 2. Severability. In the event that any section, sentence, clause, phrase or word of this Ordinance shall be declared illegal, invalid or unconstitutional by any court of competent jurisdiction, such declaration shall not prevent, preclude, or otherwise foreclose enforcement of any of the remaining portions of this Ordinance

SECTION 3. Repealer. All ordinances or parts of ordinances inconsistent herewith are in conflict with any of the specific terms enacted hereby to the extent of said inconsistencies or conflicts, are hereby repealed.

SECTION 4. This Ordinance shall take effect as provided by law.

ORDAINED AND ENACTED by the Borough Council of HATFIELD BOROUGH on this 15th day April, 2020 with Council Members WEIERMAN, PROBSTER, STEVENS voting "aye" and Ø voting "nay." FERLOW, DRUSIO

Attest:

HATFIELD BOROUGH


Michael J. DeFinis, Secretary

By: 
John H. Weierman, Council President

Approved by the Mayor this 15th Day of April, 2020


Robert L. Kaler, III

4. New Business:

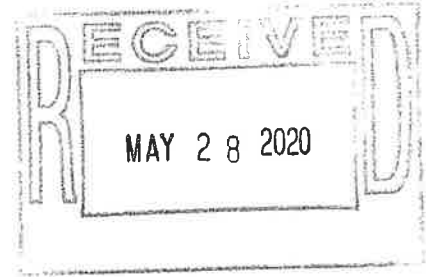
A. Howard Heckler Subdivision Plan Update



Civil Engineers & Land Surveyors · 410 Derstine Avenue, PO Box 647, Lansdale, PA 19446-0608 · 215-855-3111 · Fax 855-5143

May 26, 2020

Michael DeFinis, Borough Manager
Hatfield Borough
Hatfield, PA 19440



RE: Heckler Property - M7871

Dear Mr. DeFinis:

I am attaching the following in support of a three (3) lot subdivision:

- One electronic plan set (2 sheets).
- Application for Approval of Plans.
- MCPC Application form
- Application fee (\$450.00) and Escrow fee (\$2000.00) payable to Hatfield Borough.
- A check for \$150 (review fee) payable to Montgomery County Treasurer.
- One copy of the legal description.

Please contact me if you have any questions on this matter.

Very truly yours,


Jeffrey A. Wert, P.E., P.L.S.
JAW/jrr

C: Howard Heckler



BOROUGH OF HATFIELD
APPLICATION FOR APPROVAL OF PLANS

- Preliminary Subdivision
- Final Subdivision
- Preliminary Land Development
- Final Land Development
- Sketch Plan

DATE RECEIVED: 5-28-2020
RECEIVED BY: 1937

PLAN TITLE: Howard Heckler

PROPERTY LOCATION:

Address: 27 West School Street
Block: 3 Unit: 2

OWNER:

Name: Howard Heckler Phone #: _____
(as on deed)

Address: 27 West School Street Hatfield PA

APPLICANT:

Name: Same as owner Phone #: _____

Address: _____

PROPOSED DEVELOPMENT:

of Acres: 1.37 ac # of Lots/Units: 3 proposed lots
2 new lots

Zoning Classification: R-1

PLAN:

Plan #: M7871 Date of Plan: 5/5/20
Plans Prepared By: Metz Engineers Phone # 215-853-3111
Address: 410 Derstine Ave, Lansdale PA 19446

FEES:

Hatfield Borough: \$450.00
Montgomery County Planning Commission: \$150.00

Signature of Owner/Applicant Howard E. Heckler
Date 5-19-20

NOTE: A Copy of Deed is required to be submitted with application.

Applicant Request for County Review



P.O. Box 311, Norristown, PA 19404-0311
 Phone: 610-278-3722
 Business Hours: 8:30 A.M. to 4:15 P.M.
 www.planning.montcopa.org

This request should be filled out by the applicant and submitted to the municipality where the application is being filed along with digital copies of all plan sets/information. Municipal staff will electronically file the application with the county, and a notice for the prompt payment of any fees will be emailed to the Applicant's Representative.

Date:

Municipality:

Proposal Name:

Applicant Name:

Address:

City/State/Zip:

Phone:

Email:

Applicant's Representative:

Address:

City/State/Zip:

Business Phone (required):

Business Email (required):

Type of Review Requested:

(Check All Appropriate Boxes)

- Land Development Plan
- Subdivision Plan
- Residential Lot Line Change
- Nonresidential Lot Line Change
- Zoning Ordinance Amendment
- Zoning Map Amendment
- Subdivision Ordinance Amendment
- Curative Amendment
- Comprehensive / Other Plan
- Conditional Use
- Special Review*

**(Not included in any other category - includes parking lot or structures that are not associated with new building square footage)*

Type of Plan: Type of Submission:

- Tentative (Sketch) New Proposal
- Preliminary / Final Resubmission*

** A proposal is NOT a resubmission if A) The proposed land use changes, or B) The amount of residential units or square footage proposed changes more than 40%, or C) The previous submission was over 5 years ago.*

Zoning:

Existing District:

Special Exception Granted Yes No

Variance Granted Yes No For

Plan Information:

Tax Parcel Number(s)

Location

Nearest Cross Street

Total Tract Area

Total Tract Area Impacted By Development

(If the development is a building expansion, or additional building on existing development, or only impacts a portion of the tract, please provide a rough estimate of the land impacted, including associated yards, drives, and facilities.)

Land Use(s)	Number of New		Senior Housing		Open Space Acres*	Nonresidential New Square Feet
	Lots	Units	Yes	No		
Single-Family			<input type="radio"/>	<input checked="" type="radio"/>		
Townhouses/Twins			<input type="radio"/>	<input type="radio"/>		
Apartments			<input type="radio"/>	<input type="radio"/>		
Commercial						
Industrial						
Office						
Institutional						
Other						

**Only indicate Open Space if it will be on a separate lot or deed restricted with an easement shown on the plan.*

Additional Information:

RESET

Effective 5/1/18

COMMONWEALTH OF PENNSYLVANIA:
 COUNTY OF MONTGOMERY:

ON THE _____ DAY OF _____ A.D. 20____ BEFORE ME, THE
 SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF
 PENNSYLVANIA, PERSONALLY APPEARED HOWARD E. HECKLER, WHO
 ACKNOWLEDGED THIS PLAN TO BE THE OFFICIAL PLAN OF STREETS
 AND PROPERTY SHOWN THEREON, SITUATED IN THE BOROUGH OF
 HATFIELD, COUNTY OF MONTGOMERY, COMMONWEALTH OF
 PENNSYLVANIA, AND DESIRED THAT THIS PLAN BE RECORDED
 ACCORDING TO LAW.

SEAL _____ NOTARY PUBLIC

MY COMMISSION EXPIRES _____

I, HOWARD E. HECKLER, HAVE LAID OUT UPON MY LAND, SITUATE IN
 THE BOROUGH OF HATFIELD, COUNTY OF MONTGOMERY,
 COMMONWEALTH OF PENNSYLVANIA, CERTAIN LOTS ACCORDING TO
 THE ACCOMPANYING PLAN WHICH IS INTENDED TO BE RECORDED.
 WITNESS MY HAND AND SEAL THIS _____ DAY OF
 _____, 20____

HOWARD E. HECKLER

APPROVED BY THE BOROUGH COUNCIL OF THE BOROUGH OF
 HATFIELD THIS _____ DAY OF _____, 20____

PRESIDENT
 MANAGER / SECRETARY

REVIEWED BY THE BOROUGH ENGINEER
 ON THIS _____ DAY OF _____, 20____

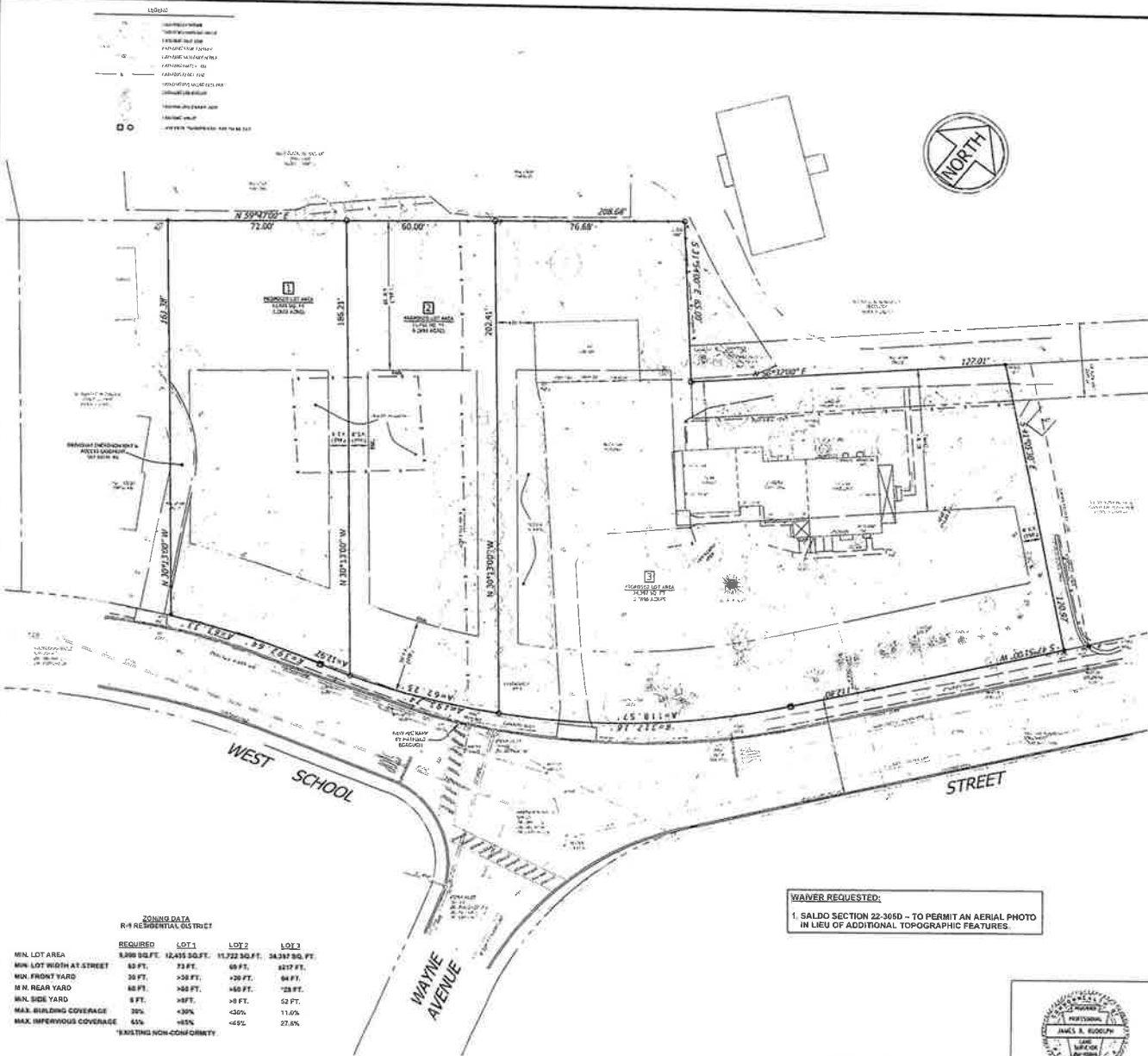
BOROUGH ENGINEER

APPROVAL OF THE BOROUGH OF HATFIELD PLANNING COMMISSION
 ON THIS _____ DAY OF _____, 20____

CHAIRMAN

RECORDED IN THE OFFICE FOR THE RECORDS OF DEEDS IN AND
 FOR THE COUNTY OF MONTGOMERY, AT NORRISTOWN, PA., IN PLAN
 BOOK _____ PAGE No. _____ ON
 _____, 20____

Montgomery County Planning Commission
 MOPC No. _____
 PREPARED AND REVIEWED. A report has
 been prepared by the Montgomery County Planning
 Commission in accordance with the Municipalities
 Planning Code.
 Certified this Date _____
 For the Director _____



ZONING DATA
 R-1 RESIDENTIAL DISTRICT

	REQUIRED	LOT 1	LOT 2	LOT 3
MIN. LOT AREA	5,000 SQ. FT.	12,433 SQ. FT.	11,722 SQ. FT.	24,339 SQ. FT.
MIN. LOT WIDTH AT STREET	52 FT.	73 FT.	69 FT.	62 1/2 FT.
MIN. FRONT YARD	30 FT.	>30 FT.	>20 FT.	64 FT.
MIN. REAR YARD	30 FT.	>30 FT.	>10 FT.	>23 FT.
MIN. SIDE YARD	5 FT.	>5 FT.	>5 FT.	52 FT.
MAX. BUILDING COVERAGE	30%	<30%	<20%	11.50%
MAX. IMPERVIOUS COVERAGE	45%	<45%	<45%	22.5%

*EXISTING NON-COMFORMITY

WAIVER REQUESTED:
 1. SALDO SECTION 22-3650 - TO PERMIT AN AERIAL PHOTO
 IN LIEU OF ADDITIONAL TOPOGRAPHIC FEATURES



LOCATION MAP 1"=300"

- NOTES:
- OWNER OF RECORD AND APPLICANT:
 HOWARD E. HECKLER
 20 WEST SCHOOL STREET
 HATFIELD, PA 19446
 PARCELS 09-04-8133-04.8
 TAXMAP BLOCK 1, UNIT 2
 DEED BOOK 2964, PAGE 2184
 - BOUNDARY AND TOPOGRAPHICAL INFORMATION TAKEN FROM
 DEEDS AND A PLAN OF PROPERTY SURVEYED FOR GEORGE
 SYDNER HECKLER AND MARY ALICE HECKLER BY HERBERT H.
 METZ INC., REGISTERED ENGINEER, LANSDALE, PA., DATED JULY
 15, 1989 AND A SURVEY PERFORMED BY THE OFFICE IN JUNE 2017.
 - SOILS DATA: UryB - URBAN LAND-READINGTON COMPLEX, 2 TO 8
 PERCENT CLAY
 - FLOODPLAIN ZONE X - AREAS DETERMINED TO BE OUTSIDE THE
 500-YEAR FLOOD CHANCE FLOODPLAIN FROM MAP NUMBER
 42970442C, PANEL 143 OF 481, EFFECTIVE DATE DECEMBER 19,
 1984, REVISED MARCH 2, 1988
 - A CERTAIN 30-FOOT LANEWIDTH-OF-WAY AS SHOWN ON THE
 FOLLOWING DOCUMENTS/PLANS:
 1) PLAN OF PROPERTY SURVEYED FOR GEORGE E. HECKLER BY
 HERBERT H. METZ, REGISTERED ENGINEER, LANSDALE, PA.,
 DATED JANUARY 25, 1949
 2) PLAN OF MAPLE TERRACE BY HERBERT H. METZ, REGISTERED
 ENGINEER, LANSDALE, PA., DATED OCTOBER 15, 1949, LAST
 REVISED OCTOBER 22, 1951.
 3) PLAN OF PROPERTY SURVEYED FOR GEORGE SYDNER
 HECKLER AND MARY ALICE HECKLER BY HERBERT H. METZ,
 INC. DATED JULY 15, 1989.
 4) REFERENCE TO A CERTAIN LANE IN A DEED RECORDED AT
 THE MONTGOMERY COUNTY RECORDER OF DEEDS OFFICE IN
 DEED BOOK 2641, PAGE 1904
 5) A FINAL SURVEY PLAN SUB DIVISION FOR CONVEYANCE
 PART OF E.L. LAUBENHAGER SCHOOL, TRACT, NORTH PINE
 SCHOOL DISTRICT PROPERTY, BY HERBERT H. METZ, INC.
 DATED SEPTEMBER 25, 1971.
 6) DRIVEWAY ENCROACHMENT AS SHOWN ON A PLAN OF PROPERTY
 SURVEYED FOR GEORGE SYDNER HECKLER AND MARY ALICE
 HECKLER BY HERBERT H. METZ, INC., LANSDALE, PA., DATED JULY
 15, 1989, ALSO REFERENCED ENCROACHMENT AS A LINE PASSING
 THROUGH A STONE DRIVEWAY IN THE PARCEL DEED RECORDED IN
 DEED BOOK 2564, PAGE 1094 AT THE MONTGOMERY COUNTY
 COURTHOUSE, NORRISTOWN, PA., DEED RECORDING DATE AUGUST
 7, 1982.
 - NO CONSTRUCTION IS PROPOSED
 - NO STEEP SLOPE AREAS EAST ON THE PROPERTY
 - NO WETLANDS ARE ON THE PROPERTY
 - NO OPEN SPACE AREAS ARE PROPOSED FOR THIS PROJECT
 - THE IMPROVEMENTS REQUIRED, I.E. LANDSCAPING THROUGH
 CONTROL, TREE REMOVAL AND STORMWATER MANAGEMENT
 SHALL BE THE RESPONSIBILITY OF THE DEVELOPER OF LOTS 1 & 2
 THE STORMWATER MANAGEMENT SYSTEM DESIGN SHALL BE
 COMPLETED RELATIVE TO THE ACTUAL HOUSE FOOTPRINT SHOWN
 ON THE BUILDING PERMIT INCLUDING SOIL TESTS, AS REQUIRED
 BY ORDINANCE. THE DEVELOPER SHALL OBTAIN ALL APPROPRIATE
 PERMITS AS REQUIRED BY THE BOROUGH AND MONTGOMERY
 COUNTY CONSERVATION DISTRICT
 - DEEDS MUST BE SET AT ALL PROPERTY CORNERS PRIOR TO
 RECORDING OF PLAN
 - LOTS 1 & 2 TO BE SERVED BY PUBLIC WATER AND SEWER
 - PUBLIC WATER TO BE PROVIDED BY THE NORTH PENN WATER
 AUTHORITY
 - PUBLIC SEWER TO BE PROVIDED BY THE HATFIELD TOWNSHIP
 MUNICIPAL AUTHORITY



PLAN OF SUBDIVISION
 PREPARED FOR
HOWARD E. HECKLER
 LAND SURVEYOR
 BOROUGH OF HATFIELD, MONTGOMERY CO., PA.

Metz Engineers
 410 South Ave., 4D New York, Campbell PA 17011
 Civil Engineers & Land Surveyors
 (610) 674-8111

I HEREBY CERTIFY THAT THIS PLAN REPRESENTS A SURVEY
 MADE BY ME OR UNDER MY SUPERVISION THAT ALL
 MONUMENTS SHOWN HEREON EXIST AS LOCATED, AND
 THAT THE DIMENSIONAL AND BEARING DETAILS ARE OF
 APPROPRIATE ACCURACY.

JAMES R. ROUDSART, P.E.
 50-020644 DATE _____

JAMES R. ROUDSART, P.E.
 50-020644

DATE PREPARED
 DATE REVISION
 DRAWN BY
 CHECKED BY
 SCALE
 1"=20'
 PLAN SHEET NO.
 1 of 2



February 21, 2019
Revised March 11, 2019

M7974
Anthony & Barbara Pletscher

Lot Legal Description
lands of Howard E. Heckler Block 3/Unit 2

ALL THAT CERTAIN parcel of land situate in the Borough of Hatfield, Montgomery County, Pennsylvania, being shown on a Plan of Simple Conveyance, prepared for Howard E. Heckler, Anthony W. Sr. & Barbara M. Pletscher by Metz Engineers, Civil Engineers and Surveyors, Lansdale, Pennsylvania, dated October 3, 2018, last revised February 21, 2019 and being more fully described as follows:

BEGINNING at a point on the northerly legal right-of-way line of West School Street (50 feet wide), said point being the proposed common corner of lands of N/L Howard E. Heckler (taxmap block 3, unit 2) and N/L Anthony W. Sr. & Barbara M. Pletscher (block 3, unit 46) and being located the following two (2) courses and distances along said West School Street legal right-of-way line from the northerly terminus of said West School Street at the southerly legal right-of-way line of Main Street (46 feet wide); 1) on the arc of a circle curving to the right in a southeast to southwesterly direction, having a radius of 20.00 feet and the arc distance of 32.07 feet (chord: South 01°54'30" West to a point of tangency W, 28.75') to a point of tangency; 2) South 47°51'00" West, 121.36 feet to the point of beginning, as shown on said plan; thence, extending, from said point of beginning, along said West School Street legal right-of-way line the following three (3) courses and distances; 1) South 47°51'00" West, 112.80 feet to a point of curvature; 2) on the arc of a circle curving to the right in a southwesterly direction, having a radius of 317.16 feet and the arc distance of 193.74 feet to a point of reverse curvature; 3) on the arc of a circle curving to the left in a southwesterly direction, having a radius of 392.64 feet and the arc distance of 63.33 feet to an iron pin found, a corner of lands of N/L Richard M. Davis & Joan E. Luther (block 3, unit 23); thence, extending along said Davis & Luther lands, North 30°13'00" West, 161.38 feet to an iron pipe found in the line of lands of N/L Biblical School of Theology (block 3, unit 1); thence, extending along said School lands the following three (3) courses and distances; 1) North 59°47'00" East, 208.68 feet to an iron pin found; 2) South 31°54'00" East, 65.00 feet to a point; 3) along a 30 ft. lane, North 56°32'00" East, 127.01 feet to a point along lands to be conveyed to Pletscher; thence, South 41°05'30" East, 120.97 feet to a point, said point being the point and place of beginning.

CONTAINING 58,554 sq.ft. (1.3442 acres) of land area, be the same, more or less.



BURSICH
ASSOCIATES

JUN 17 2020

June 17, 2020

Hatfield Borough
401 S. Main Street
P.O. Box 190
Hatfield, PA 19440

Attention: Mr. Michael J. DeFinis
Borough Manager

RE: Howard E. Heckler 3-lot Subdivision
27 West School Street
Bursich Project No.: HAT-01 / B208117.00

Dear Mike:

As requested, Bursich Associates, Inc. has reviewed a plan submission prepared for Howard E. Heckler. The submission consisted of the following information prepared by Metz Engineers:

- Plan entitled "Plan of Subdivision prepared for Howard E. Heckler, Sheets 1 – 2 of 2, dated 05-05-2020, and containing no revision date.

The Applicant is the record owner of a property located at 27 West School Street containing approximately 1.37 acres. Based on the plan submitted the Applicant proposes to subdivide the property into three lots. An existing two-story dwelling, driveway, and associated improvements will remain on Lot 3. Lots 1 & 2 are to be undeveloped at this time. No construction, demolition, grading, or other improvements are proposed as part of the plan. We offer the following for your consideration:

REQUESTED WAIVERS

The following waiver request was noted on sheet 1 of 2 of the submitted plan:

1. §22-305D - A waiver to permit an aerial photo in lieu of illustrating the additional topographic features within 200 feet of the tract boundaries.

ZONING ORDINANCE COMMENTS

1. §27-1203 & §27-1204 - The subject parcel is located in the R-1 Residential District. The plan appears to comply with all required area and dimensional criteria, except for the rear yard setbacks for the existing dwelling and accessory detached garage to remain on Lot #3, which are existing non-conforming conditions that will remain unchanged after the subdivision.

ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS



2129 E. High Street | Pottstown, PA 19464
N 40° 14' 40.2" W 075° 36' 09.6"

610.323.4040
www.bursich.com

SUBDIVISION AND LAND DEVELOPMENT ORDINANCE COMMENTS

1. §22-305.C.(7) – The total tract acreage shall be added to the plan.
2. §22-305.C.(15) – The property boundary line and new lot line types shall be added to the plan legend.
3. §22-305.D.(1)(d) and (e) – The cartway width and surface conditions for existing streets bordering the tract shall be labeled on the plan.
4. §22-305.D.(7) – Soils types and information shall be shown on the plans.
5. §22-305.D.(9) – The existing buildings on the tract shall be labeled as “To Remain” or “To Be Removed” as applicable. A label shall be added describing the type of any buildings and structures located within 100 feet beyond the tract boundaries.
6. §22-307.B.(2)(f) – Note #12 on Sheet 1 shall be expanded to include the concrete monuments to be set. The size and material of all monuments and pins shall be indicated.
7. §22-420.B. – Street trees are required at a spacing of no more than 50 feet along the subdivision. One additional tree would be required to be planted approximately at the common lot line of Lots 1 and 2. Note 11 on sheet 1 of 2 requests future improvements to be the responsibility of the developers of those individual lots as part of the required future permits.

The plan should clarify which lot will be responsible for the required street tree.

SANITARY SEWER COMMENTS

1. PaDEP Sewage Facilities Planning shall be addressed.

GENERAL COMMENTS

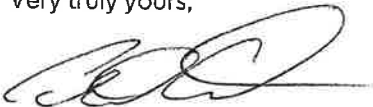
1. Metes and bounds information shall be provided for the existing Driveway Encroachment & Access Easement shown on Lot #1.
2. The plan shall identify if the existing fenced-in garden that will be located on both Lots 1 & 2 will remain or be removed.
3. The label referring to the “New H/C Ramp by Hatfield Borough” shall be deleted.
4. Legal descriptions shall be submitted for the three lots created by the subdivision. The Lot 1 legal description shall include a reference to the existing driveway encroachment.
5. Note 15 on sheet 1 shall note that public sewer will be provided by Hatfield Borough and the Hatfield Township Municipal Authority.
6. All signature blocks and certifications shall be signed, and notarized as appropriate, as part of the final plan approval and recording process.

7. Since the plan contains all of the required certifications for a final plan, and based on the minor nature of the plan and no development being proposed, Borough Council may consider granting concurrent preliminary and final plan approvals if it so chooses.
8. Reviews, approvals, permits that may be required include, but are not limited to, the following:
 - a. PaDEP Sewage Facilities Planning.
 - b. Montgomery County Planning Commission.
 - c. North Penn Water Authority.

The comments are made with the understanding that all existing features and topography are accurately represented on the plans, and that all designs, calculations and surveys are accurate and have been prepared in accordance with current laws, regulations, and currently accepted Professional Land Surveying and Engineering practice

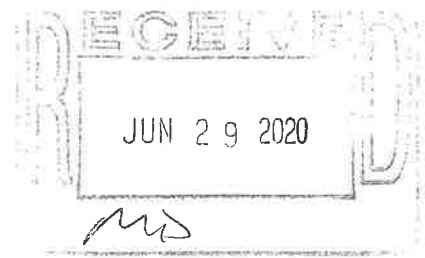
If you have any questions or need further information, please feel free to contact me at 484-941-0418 or chad.camburn@bursich.com

Very truly yours,



Chad E. Camburn, P.E.
Director of Municipal Services
Bursich Associates, Inc., Pottstown Corporate Office

pc: Jaime Snyder, Borough Assistant Manager (via email)
Kate Harper, Borough Solicitor (via email)
Matthew Traynor, Hatfield Borough Code Enforcement/Zoning Officer (via email)
Jeffrey A. Wert, P.E., P.L.S., Metz Engineers (via email)



Civil Engineers & Land Surveyors · 410 Derstine Avenue, PO Box 647, Lansdale, PA 19446-0608 · 215-855-3111 · Fax 855-5143

June 29, 2020

Michael DeFinis, Borough Manager
Hatfield Borough
401 South Main Street
Hatfield, PA 19440

RE: Heckler 3 Lot Subdivision – M7871
Bursich Project Number : HAT-01 / B208117.00

Dear Mr. DeFinis:

I am attaching the electronic copies of the revised plan set. The following is in response to the Bursich Associates Inc. letter of June 17, 2020:

Requested Waivers – No revisions required.

Zoning Ordinance Comments – No revisions required.

Subdivision and Land Development Ordinance Comments

1. Shown on Sheet 1.
2. Shown on Sheet 1.
3. Shown on Sheet 1.
4. Shown on Sheet 1.
5. Site buildings labeled on Sheet 1. Off-site buildings labeled on Sheet 2.
6. Shown on Sheet 1.
7. Shown on Sheet 1.

General Comments

1. Shown on Sheet 1.
2. Shown on Sheet 1.
3. Deleted from Sheet 1.
4. Descriptions will be submitted prior to final approval.
5. Shown on Sheet 1.
6. Signatures and certifications will be added prior to recording.
7. No response required.
8. These reviews are in process.

Please contact me if you have any questions on this matter.

Herbert H. Metz, Inc. Since 1912



Page 2 of 2
Michael DeFinis
June 29, 2020

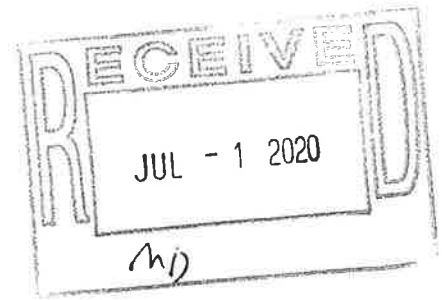
Very truly yours,

A handwritten signature in black ink that reads 'Jeffrey A. Wert'. The signature is written in a cursive style with a long horizontal stroke extending to the right.

Jeffrey A. Wert, P.E., P.L.S.
JAW/jrr

Encl.

C: Howard Heckler
Chad E. Camburn, P.E., Bursich Associates



July 1, 2020

Hatfield Borough
401 S. Main Street
P.O. Box 190
Hatfield, PA 19440

Attention: Mr. Michael J. DeFinis
Borough Manager

RE: Howard E. Heckler 3-lot Subdivision – Review 2
27 West School Street
Bursich Project No.: HAT-01 / B208117.00

Dear Mike:

As requested, Bursich Associates, Inc. has reviewed a plan submission prepared for Howard E. Heckler. The submission consisted of the following information prepared by Metz Engineers:

- Plan entitled "Plan of Subdivision prepared for Howard E. Heckler, Sheets 1– 2 of 2, dated 05-05-2020 with latest revision date of 06-26-20.

The Applicant is the record owner of a property located at 27 West School Street containing approximately 1.37 acres. Based on the plan submitted the Applicant proposes to subdivide the property into three lots. An existing two-story dwelling, driveway, and associated improvements will remain on Lot 3. Lots 1 & 2 are to be undeveloped at this time. No construction, demolition, grading, or other improvements are proposed as part of the plan. We offer the following for your consideration:

REQUESTED WAIVERS

The following waiver request was noted on sheet 1 of 2 of the submitted plan:

1. §22-305D - A waiver to permit an aerial photo in lieu of illustrating the additional topographic features within 200 feet of the tract boundaries.

ZONING ORDINANCE COMMENTS

1. §27-1203 & §27-1204 – The subject parcel is located in the R-1 Residential District. The plan appears to comply with all required area and dimensional criteria, except for the rear yard setbacks for the existing dwelling and accessory detached garage to remain on Lot #3, which are existing non-conforming conditions that will remain unchanged after the subdivision.

ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS



2129 E. High Street | Pottstown, PA 19464
N 40° 14' 40.2" W 075° 36' 09.6"

610.323.4040
www.bursich.com

**HATFIELD BOROUGH COUNCIL
RESOLUTION NO. 2020-_____**
**REGARDING APPLICATION OF HOWARD E. HECKLER FOR
PRELIMINARY/ FINAL APPROVAL FOR A THREE LOT SUBDIVISION FOR
LAND LOCATED AT 27 WEST SCHOOL STREET
IN HATFIELD BOROUGH**

AND NOW, this ___ July, 2020, the Borough Council of Hatfield, at a public meeting, and after discussion concerning the plans detailed herein, hereby APPROVES the Preliminary/Final Subdivision Application for a Three Lot Subdivision for the property comprising 1.37 acres, located at 27 West School street pursuant to plans prepared by Metz Engineers of Lansdale, Pennsylvania dated May 5, 2020 and last revised June 26, 2020 for Howard E. Heckler, (hereinafter the “Applicant”) to create three separate residential lots. Lot #3 is improved with a two story dwelling and driveway served by public water and sewer. Lots #1 and 2 are presently vacant. No new construction is proposed at this time.

The plans have been reviewed by the Borough Engineer, Bursich Associates, Inc. of Pottstown, and the Hatfield Borough Planning Commission and were submitted to the Montgomery County Planning Commission.

. This approval is based on the following conditions:

1. Prior to recording the plans, the plans must be revised to comply with the outstanding comments of the Borough’s Engineer, Bursich Associates, Inc. in the review letter dated July 1, 2020 attached hereto as Exhibit A. The requirement for survey monuments and the planting of the required street tree must be accomplished prior to the recording of the plans. The review letter is incorporated herein as fully as though set forth verbatim.

2. No waivers are intended to be granted by this Resolution except a waiver of Subdivision and Land Development Ordinance Section 22-305D to permit an aerial photograph to be used to show existing features on the land and within 200 feet of the tract boundaries.

3. Maintenance of stormwater drainage facilities, if any, are the responsibility of the property owner on whose property the facilities are located, and, if appropriate, a note should be noted to the plan prior to recording that indicates that any such stormwater drainage facilities are the responsibility of the property owner, but may be maintained by the Borough, with all expenses being charged to the property owner, in the event that the maintenance responsibilities of the property owner are not fulfilled after reasonable notice to do so.

4. New deeds must be prepared for all three of the Heckler lots using new legal descriptions for each, in form and substance satisfactory to the Borough Engineer and the Borough Solicitor and these deeds shall be recorded within 180 days of the date of this Resolution.

5. Plans in a form acceptable to the Borough Engineer must be recorded at the Montgomery County Recorder of Deeds office in accordance with the Municipalities Planning Code within 180 days and the Applicants shall provide the Borough with 4 copies of full-size paper copies of the final complete plan set for signature; 2 CDs with PDF version of all plans and design reports; and 2 CDs with AutoCAD files of all plan drawings prior to recording. The Applicants agree to provide the Borough with two paper copies of the Recorded plans (with signatures and stamps) and a copy of the recording receipt within 90 days of the date of this Resolution.

The Borough Engineer shall review the complete set of plans and approve them prior to their being signed by Hatfield Borough and available for recording.

6. No building permits will be issued until the Applicant has demonstrated agreements with the North Penn Water Authority and Hatfield Township Municipal Sewer Authority evidencing the availability of public water and sewer to the building lots, 1 and 2.

7. The Applicant agrees to reimburse the Borough for all engineering, legal, or other professional fees for the review of the Plan upon demand.

8. Under the Pennsylvania Municipalities Planning Code, the Applicant has the right to accept or reject conditions imposed by Borough Council upon final approval. In the absence of an appeal to the Court of Common Pleas or a notice that the Applicant objects to conditions contained herein, filed in writing within 30 days of the date of this Resolution, the conditions set forth herein shall be deemed to have been accepted by the Applicant. If the Borough receives a written notice of an appeal or a written rejection of the conditions set forth herein within 30 days from the date of this Resolution, then this Resolution, and the waiver granted, shall be deemed to have been automatically rescinded and shall be deemed to be a rejection for the reasons stated in the letter of the Borough Engineer, as stated above and attached hereto as Exhibit A.

Approved at a public meeting of the Hatfield Borough Council duly advertised with Council Members _____ voting "Aye" and Council Members _____ voting "Nay."

HATFIELD BOROUGH COUNCIL

By: _____
JOHN H. WEIERMAN, PRESIDENT

Attest:

MICHAEL J. DEFINIS, SECRETARY

Approved this ____ day of July, 2020.

Robert L. Kaler III, Mayor
Borough of Hatfield

Date of Mailing: _____

4. New Business:
B. Edinburgh Square Land Development
Presentation

**HATFIELD BOROUGH
WAIVER OF TIME LIMITATIONS**

TO THE MEMBERS OF THE HATFIELD BOROUGH COUNCIL AND
HATFIELD BOROUGH PLANNING COMMISSION:

WE/I, David J. Caracausa,
the Applicant or the Applicant's attorney, do hereby waive the requirements
of the Pennsylvania Municipalities Planning Code for a decision on our land
development/subdivision application of a decision within 90 days under
Section 508 of the Pennsylvania Municipalities Planning Code. We
understand that we may revoke this waiver by giving the Borough Manager
and Solicitor ninety (90) days' written notice of our intention to do so.

David J. Caracausa

Signature

David J. Caracausa

Print or Type Name

P.O. Box 1055, North Wales, Pa. 19454

Address

215-699-2600

Telephone

davidc@cbprem.com

Email address

Dated: 10/11/19

**HATFIELD BOROUGH COUNCIL
RESOLUTION NO. 2018-16
REGARDING APPLICATION OF DJC ENTERPRISES L.P. (CARACAUSA BUILDING
& DEVELOPMENT) FOR PRELIMINARY SUBDIVISION AND LAND
DEVELOPMENT APPROVAL FOR
EDINBURGH SQUARE
510 KOFFEL ROAD
HATFIELD BOROUGH**

AND NOW, this 16th day of May 2018, the Borough Council of Hatfield, at a public meeting, and after extensive reviews of the Plans by the Borough consultants, Borough Council and the Hatfield Planning Commission, and after discussion with the Applicants concerning the conditions detailed below, hereby

CONDITIONALLY APPROVES

the Preliminary Subdivision and Land development application for Caracausa Building & Development and DJC Enterprises L.C., P.O. Box 1055, North Wales, PA 19454 (hereinafter “Applicants”) for preliminary subdivision and land development approval for a four lot residential subdivision of the site located in the Borough at 510 Koffel Road with frontage on Koffel Road and West Vine Street, on a 1.39 acre parcel in the R-1 Residential Zoning District, being TMP # 09-00-01882-00-8. This approval includes the approval of the Applicants’ plan for phasing the project so that Phase One creates a two-lot subdivision, allowing the construction of a single family dwelling on Lot #1, and reserving the rest of the tract for Phase Two construction except as otherwise noted herein. It is anticipated that Phase Two would eventually be approved for three single-family homes.

THEREFORE, Borough Council, after discussion and consideration of plans prepared by The Crossroads Group, LLC, 16590 Pottsville Pike, Suite A, Hamburg, PA 19526, dated August 14, 2017, last revised March 15, 2018, and a revised preliminary subdivision plan of Edinburgh

Square subdivision (sheet 1 of 9) showing proposed project phasing (collectively, the “Plans”) hereby preliminarily approves the Plans, based upon the conditions stated below:

1. Except as modified herein, or as otherwise required pursuant to Exhibit A attached hereto, the Plans offered for Final Subdivision and Land Development approval and for recording must comply with this Resolution, the Decision of the Hatfield Borough Zoning Hearing Board dated August 31, 2017, attached hereto as Exhibit A, the Hatfield Borough Zoning Ordinance, the Hatfield Borough Subdivision and Land Development Ordinance, and the conditions of plan approval stated herein.

2. Further, except as modified herein, the Plans must be revised to comply with the letter of the Borough Engineer, Bursich Associates, Inc., dated April 24, 2018, attached hereto and marked Exhibit B, incorporated herein as fully though as set forth verbatim, and

3. Further, the Applicants must demonstrate that they have secured adequate capacity in the Borough’s and Hatfield Township Municipal Authority’s (HTMA) sanitary sewage system and treatment plant for the houses to be constructed in Phase 2. Prior to Final Subdivision And Land Development Approval for Phase 2, and before the final Plans for Phase 2 are recorded, Applicants must deliver to the Borough signed agreements with acknowledgments from HTMA and North Penn Water Authority (NPWA) confirming that public water and public sewer are available for the lots to be constructed in Phase 2.

4. No waivers are intended to be granted by this Resolution except as set forth specifically herein. If approved, the Plans are approved with the following waivers; if rejected, the plans are rejected for failure to comply with the following provisions:

- a) §22-305.D – a waiver from illustrating all off-site existing features within 200 feet in view of the aerial photograph provided;
- b) §22-420.B (3) – a waiver to allow variations in the otherwise required spacing of street trees to allow for clear sight lines at intersections as well as to allow

for no trees planted on the existing Texas Eastern Gas Pipeline Easement as shown on the Plans;

- c) §26-123 C-- a waiver to allow for a different stormwater volume management design in view of the existing soil with limited dewatering capacity in view of the fact that the addition of a stormwater basin reduces overall site run off rates by 45% over existing conditions; and
- d) §26-124 A—a waiver to allow a *de minimus* increase in run off in a 100 year storm from the basin as approved by Hatfield Township's engineer on behalf of Hatfield Township since the run off from the site will be absorbed by the Township.

5. This Preliminary Plan approval is likewise conditioned upon Applicants' agreement in writing, prior to the grant of Final Approval on any phase that includes Lot #1, to purchase and install an acceptable six foot high, opaque vinyl privacy fence to the satisfaction of the Borough along the common property line of the site with the Bowers' property (TMP # 09-00-01885-005) as shown on the approved plans in lieu of strict compliance with the buffer requirements of §22-420 C. The fence shall be installed in the first phase of any construction.

6. This preliminary approval is specifically conditioned upon the recording of a deed, acceptable to the Borough Solicitor, restricting Lot #4 from any further subdivision prior to final approval for any construction phase that includes Lot #4. Further, this preliminary approval is specifically conditioned upon the Applicants' grant to the Borough, in a form satisfactory to the Borough Engineer and Borough Solicitor of a twenty-foot wide easement for the existing Borough electric pole and connections thereto already existing on Lot #4.

7. This approval is further conditioned upon the Applicants' agreement that all electric, cable and telephone or similar utility services shall be installed underground.

8. Prior to obtaining a certificate of occupancy for the new dwelling planned for Lot #4. the Applicants must demonstrate that they have resolved any title issues related to the encroachment evident on the Existing Features Plan from a driveway to the adjoining Endrick property.

9. Final subdivision and land development approval of any phase will be conditioned on getting any and all required outside agency approvals, including, but not limited to, PENNDOT, DEP, MCCCD, and any other required state or local agency.

10. Final approval for any phase of construction shall require that Plans in a form acceptable to the Borough Engineer must be recorded at the Montgomery County Recorder of Deeds office in accordance with the Municipalities Planning Code prior to the start of any construction on site. Final subdivision and land development approval of any phase will require that the Applicants provide the Borough with 4 copies of full-size paper copies of the final complete plan set for signature; 2 CDs with PDF version of all plans and design reports; and 2 CDs with AutoCAD files of all plan drawings prior to recording. The Applicants agree to provide the Borough with two paper copies of the Recorded plans (with signatures and stamps) and a copy of the recording receipt prior to construction. After construction, the Applicants agree to submit as-built plans once construction is complete and provide the Borough with two paper copies and two of CDs with PDFs and AutoCAD files of the final as-built conditions once the Borough Engineer approves the as-built plan.

11. Final approval of any phase will require that the Applicants agree to execute a Developer's agreement with Hatfield Borough in which the Applicants shall obligate themselves to complete all the public improvements required for that phase, including but not limited to, stormwater management facilities, sidewalks, pavement restoration and striping, curbing, required landscaping, erosion and sedimentation control requirements and any other public improvement shown on the plans as being constructed that phase in accordance with Borough criteria and specifications, as well as to secure completion of the said required improvements by posting satisfactory financial security as required by the Pennsylvania Municipalities Planning Code.

12. Unless otherwise provided on approved plans, maintenance of all detention basins and stormwater drainage facilities shall be the responsibility of the property owners of the lots on which they are constructed in accordance with the Plans. Since the functioning of the stormwater management system for the entire site is a benefit to, and the responsibility of, all owners, a stormwater maintenance agreement applicable to the entire site and prepared by the Borough Solicitor shall be recorded with the Phase 1 Plans and agreements. Thereafter, the Applicants shall enter into a Stormwater Maintenance Agreement with the Borough to be recorded at the Montgomery County Recorder of Deeds' office against each of the lots affected by a stormwater facility, providing for their obligations with respect to maintenance of the stormwater management facilities and further providing that the stormwater facilities may be maintained by the Borough (with all expenses being charged to the property owners) in the event that the maintenance responsibilities of the property owners are not fulfilled after reasonable notice to do so.

13. Preliminary approval of the Plans with phases is further conditioned upon:

(a) The demolition of existing improvements and structures, and removal of all debris on the entire site during the first phase of construction;

(b) Lawn restoration, seeding and stabilization on the entire site in the first phase of construction;

(c) The full-width repaving with milling and overlay of West Vine Street along the frontage of the entire property after construction of all three lots fronting W. Vine Street after the installation of underground utilities for Lots 1, 2 and 3 in the right of way of West Vine Street;

(d) Payment to the Borough, as agreed, for a portion of the Traffic Study done for the project in the amount of \$2,250.00 as a condition of Final Approval of any phase; and

(e) The Applicants shall reserve and record easements in a form acceptable to the Borough Engineer and Borough Solicitor over and through Lots #1 and #2 that will be required for utilities including water, sewer, cable and electric for a lot to be constructed in a later phase when the Final Plans for Phase 1 are recorded.

14. After Final subdivision approval for any phase, Applicants shall provide the Borough Manager and the Borough Engineer with proof that the approved final plans and the developer's agreement for that phase have been recorded at the Montgomery County Courthouse and notice of the start of construction, at least 72 hours prior notice before initiating any grading or ground clearing or construction in accordance with the plans, so that the Borough may certify that all appropriate erosion and sedimentation control facilities have been properly installed and also any protective fencing or other markers as required have been installed in accordance with the plans.

15. At the time the final Plans are recorded for any phase, Deeds of Dedication in a form satisfactory to the Borough Solicitor with legal descriptions satisfactory to the Borough Engineer shall be offered to the Borough for any road rights of way offered for dedication, if any, at the time the Plans are recorded. Acceptance of a Deed is not, and shall not be construed to be, acceptance of public improvements on the site.

16. At the time the final Plans are recorded for any phase, legal descriptions satisfactory to the Borough Engineer for all lots and easements shall be provided and easements satisfactions to the Borough Solicitor recorded.

17. After Final subdivision approval for any phase, Applicants shall obtain all required permits including road opening, demolition, building, and grading permits at least seven days prior to the start of construction on any phase.

18. Prior to the start of construction on any phase, all fees including sewage EDU and electric fees must be paid in full for that phase.

19. Under the Pennsylvania Municipalities Planning Code, the Applicants have the right to accept or reject conditions imposed by the Borough Council upon an approval. In the absence of an appeal or a notice of rejection of conditions filed in writing within thirty days from the date of this Resolution, the conditions set forth herein shall be deemed to have been accepted by the Applicants. If the Borough receives a written notice of an appeal or a written rejection of the conditions set forth herein within thirty days from the date of this Resolution, however, then all waivers shall be deemed to have been automatically rescinded and this Resolution, this Preliminary Approval with Conditions shall be deemed to be a Denial of Preliminary Approval for failure to comply with the Hatfield Subdivision and Land Development Ordinance and the conditions stated above.

20. Subject, as well, to the following: A WAIVER from the requirement that the Applicants install a sidewalk along its Koffel Road frontage.

21. Subject, as well, to the following: Within sixty days of the date of this Resolution, the Applicants shall reimburse the Borough for all professional fees and expenses incurred in connection with the approval of the development.

22. This Resolution and phasing approval is further conditioned upon Applicants' obligation to comply with all Borough Ordinances regarding the property, including but not limited to, grass cutting and snow removal. Within thirty (3) days of the date of this Resolution, Applicant shall submit to the Borough evidence of a grass cutting contract that will keep the property's grass within the limits of Hatfield Borough's Ordinance §10-101 and §10-102.

Approved at a public meeting of the Borough Council duly advertised with Council

Members, FARRALL FERLUSON voting "Aye" and NONE voting "Nay."
KROESSER WEIERMAN

HATFIELD BOROUGH COUNCIL

By: John H. Weierman
JOHN H. WEIERMAN, PRESIDENT

ATTEST:

Michael J. Definis
MICHAEL J. DEFINIS, BOROUGH SECRETARY

Approved this 16th day of May, 2018.

Robert L. Kaler III
Robert L. Kaler III, Mayor
Borough of Hatfield

EXHIBIT A
Order of the Hatfield Borough Zoning Hearing Board
Dated August 31, 2017

EXHIBIT B
BURSICH ENGINEERS REVIEW LETTER DATED APRIL 24, 2018

**MONTGOMERY COUNTY
BOARD OF COMMISSIONERS**
VALERIE A. ARKOOSH, MD, MPH, CHAIR
KENNETH E. LAWRENCE JR., VICE CHAIR
JOSEPH C. GALE, COMMISSIONER



**MONTGOMERY COUNTY
PLANNING COMMISSION**
MONTGOMERY COUNTY COURTHOUSE • PO Box 311
NORRISTOWN, PA 19404-0311
610-278-3722
FAX: 610-278-3941 • TDD: 610-631-1211
WWW.MONTCOPA.ORG

JODY L. HOLTON, AICP
EXECUTIVE DIRECTOR

October 10, 2017

Mr. Bradford Bollinger, Code Enforcement Officer
Hatfield Borough
37 North Market Street—Box 190
Hatfield, Pennsylvania 19440-0190

Re: MCPC #17-0218-001
Plan Name: Edinburgh Square Subdivision
(4 lots/4 dus comprising 1.39 acres)
Situate: Koffel Road (east)/West Vine Street (south)
Hatfield Borough

Dear Mr. Bollinger:

We have reviewed the above-referenced land development in accordance with Section 502 of Act 247, "The Pennsylvania Municipalities Planning Code," as you requested on September 7, 2017. We forward this letter as a report of our review.

BACKGROUND

Caracausa Building and Development, are presenting plans for the subdivision and development of an existing parcel #90001882008. The parcel is to be subdivided into 4 lots of varying size and conformity to the base code R-1 Residential. The development of a new house on each parcel constitutes the built portion of this plan. A pipeline easement exists for roughly a third of the property's usable land along Koffel Road.

RECOMMENDATION

The Montgomery County Planning Commission (MCPC) generally supports the applicant's proposal, however, in the course of our review we have identified the following issue that the applicant and Hatfield Borough may wish to consider prior to land development plan adoption. Our comments are as follows:

REVIEW COMMENTS**ZONING**

Conformity to the Existing Base Code - The MCPC notes the needed variances for this development to take place, however, it is suggested the developer seek to either: (a) petition to totally rezone the property to R-2 Residential; or (b) propose a two house development plan that satisfies the current base zoning district. The area surrounding the parcel is strictly single-family residential in nature and is over a 20-minute walk to the core of the borough and therefore not as conducive to more intense development. The existing pipeline right-of-way also constrains the level of development this parcel can bear.

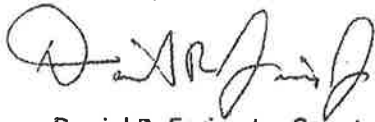
CONCLUSION

We wish to reiterate that MCPC generally supports the applicant's proposal but we believe that our suggested revisions will better achieve Hatfield Borough's planning objectives for residential development.

Please note that the review comments and recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality.

Should the governing body approve a final plat of this proposal, the applicant must present the plan to our office for seal and signature prior to recording with the Recorder of Deeds office. A paper copy bearing the municipal seal and signature of approval must be supplied for our files.

Sincerely,



Daniel R. Farina Jr., County Planner
dfarina@montcopa.org - 610-278-3728

c: David Caracausa, Caracausa Building and Development
Michael DeFinis, Township Manager
D. Glenn Snyder, Chrm., Boro. Planning Commission
Chad Camburn, Boro. Engineer
Catherine Harper, Boro. Solicitor

Attachments: Aerial View of Site
Reduced Copy of Applicant's Plan



Borough of Hatfield

Montgomery County, Pennsylvania

July 1, 2020

510 Koffel Road
Hatfield, PA 19440

PID# 09-00-01882-00-8

ZONING REPORT: Subdivision/Land Development

A review for compliance with the Hatfield Borough Ordinances, and other applicable laws and codes for the Subdivision/Land Development submittal of 510 Koffel Road, Hatfield, PA 19440 has been completed and approved as submitted with variances granted. All design specifications out of compliance with Hatfield Borough Zoning Ordinances have been granted by variances on the 31st day of August, 2017 by the Hatfield Borough Board.

510 Koffel Road, Hatfield, PA 19440 is located in the R-1 Residential District.

Minimum Lot Area:	9,000 Square Feet
Minimum Lot Width at Street Line:	60 Feet
Front Yard Setback:	30 Feet*
Side Yard Setback:	8 Feet
Rear Yard Setback:	60 Feet
Maximum Building Coverage:	30% of Lot Area
Maximum Impervious Coverage:	65% of Lot Area

*Except that where a building line has been established the setback of the majority of the existing buildings on that block may be used

401 S. Main Street
P.O. Box 190
Hatfield, PA 19440

Phone:
215-855-0781

Fax:
215-855-2075

Email:
admin@
hatfieldborough.com

Website:
www.hatfieldborough.com

The following is out of compliance with Hatfield Borough Zoning Ordinances and have been granted by variances on the 31st day of August, 2017 by The Hatfield Borough Board.

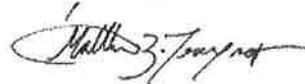
- Lot #1
 - Does not meet minimum lot area - 7,014 Square Feet
 - Does not meet minimum lot width - 50 Feet

- Lot #2
 - Does not meet minimum lot area - 7,029 Square Feet
 - Does not meet minimum lot width - 50.01 Feet

- Lot #3
 - No zoning issues found

- Lot #4
 - Does not meet rear yard setback - 40 Feet

Sincerely,



Matthew J Traynor
Code and Zoning Enforcement



APR - 3 2020

MD

SENT VIA ELECTRONIC MAIL TO ADMIN@HATFIELDBOROUGH.COM

April 3, 2020

Mr. Michael J. DeFinis, Manager
Hatfield Borough
401 South Main Street
P.O. Box 190
Hatfield, PA 19440

Re: Approval Letter - Revision
Edinburgh Square Subdivision
DEP Code No. 1-46929-078-3J
APS ID 1010631 Site ID 840771
Hatfield Borough
Montgomery County

Dear Mr. DeFinis:

The Department of Environmental Protection ("DEP") has reviewed the proposed Official Plan revision consisting of a 4-lot residential subdivision on 1.39 acres. The proposed development is located at 510 West Vine Street in Hatfield Borough, Montgomery County. This plan revision is approved.

This project will be connected to the Hatfield Borough collection system and will generate an additional 525 gallons of sewage per day ("gpd"), for a total of 700 gpd to be treated at the Hatfield Township Municipal Authority's ("HTMA") Wastewater Treatment Facility.

The sewage flows from this project are tributary to the HTMA Neshaminy Interceptor. The upper portion of the interceptor is currently being upgraded to accommodate additional sewage flows. Per their letter dated September 27, 2019, Hatfield Borough has committed to withhold grading, building and occupancy permits until HTMA has completed the upgrades in the upper portion of the Neshaminy Interceptor.

Any person aggrieved by this action may appeal the action to the Environmental Hearing Board (Board), pursuant to Section 4 of the Environmental Hearing Board Act, 35 P.S. § 7514, and the Administrative Agency Law, 2 Pa.C.S. Chapter 5A. The Board's address is:

Environmental Hearing Board
Rachel Carson State Office Building, Second Floor
400 Market Street
P.O. Box 8457
Harrisburg, PA 17105-8457

TDD users may contact the Environmental Hearing Board through the Pennsylvania Relay Service, 800-654-5984.

Appeals must be filed with the Board within 30 days of receipt of notice of this action unless the appropriate statute provides a different time. This paragraph does not, in and of itself, create any right of appeal beyond that permitted by applicable statutes and decisional law.

A Notice of Appeal form and the Board's rules of practice and procedure may be obtained online at <http://ehb.courtapps.com> or by contacting the Secretary to the Board at 717-787-3483. The Notice of Appeal form and the Board's rules are also available in braille and on audiotape from the Secretary to the Board.

IMPORTANT LEGAL RIGHTS ARE AT STAKE. YOU SHOULD SHOW THIS DOCUMENT TO A LAWYER AT ONCE. IF YOU CANNOT AFFORD A LAWYER, YOU MAY QUALIFY FOR FREE PRO BONO REPRESENTATION. CALL THE SECRETARY TO THE BOARD AT 717-787-3483 FOR MORE INFORMATION. YOU DO NOT NEED A LAWYER TO FILE A NOTICE OF APPEAL WITH THE BOARD.

IF YOU WANT TO CHALLENGE THIS ACTION, YOUR APPEAL MUST BE FILED WITH AND RECEIVED BY THE BOARD WITHIN 30 DAYS OF RECEIPT OF NOTICE OF THIS ACTION.

If you have any questions or concerns, please contact Stefanie Rittenhouse at 484-250-5186 and refer to the project name as referenced above.

Sincerely,

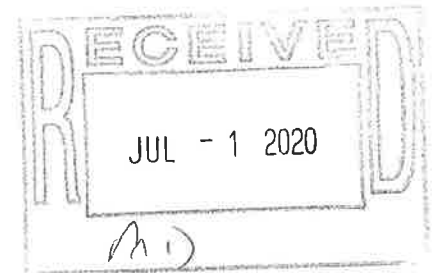


Thomas Magge
Regional Manager
Clean Water

cc: Mr. Shaw - Montgomery County Planning Commission (via e-mail)
Mr. Peffer - Montgomery County Health Department (via e-mail)
Ms. Buck – Montgomery County Conservation District (via e-mail)
Mr. Caracausa (via e-mail)
Mr. Bialek - The Crossroads Group, LLC (via e-mail)
Mr. Dorney - HTMA (via e-mail)
Planning Section
Re 30



BURSICH
ASSOCIATES



July 1, 2020

Hatfield Borough
401 S. Main Street
P.O. Box 190
Hatfield, PA 19440

Attention: Mr. Michael J. DeFinis
Borough Manager

RE: Edinburgh Square Subdivision
Preliminary/Final Plan – Four-Lot Subdivision Review #2
Bursich Job No.: B177832.00

Dear Mike:

As requested, Bursich Associates, Inc. has reviewed the Preliminary/Final Subdivision documents for the Edinburgh Square Four-Lot Subdivision. The applicant's submission consisted of the following information prepared by The Crossroads Group, LLC:

- Preliminary/Final Plans of Edinburgh Square Four-lot Subdivision, consisting of a Cover Sheet and Sheets 1 through 9 of 9, dated 8-14-17 with a latest revision date of 7/1/20
- Waiver Request letter dated June 4, 2020
- Legal Descriptions:
 - Lot 1, dated August 15, 2018, revised June 18, 2020
 - Lot 2, dated August 15, 2018, revised June 18, 2020
 - Lot 3, dated August 15, 2018, revised June 18, 2020
 - Lot 4, dated August 1, 2018, revised June 18, 2020
 - Lot 1 Ultimate R.O.W., dated December 19, 2018 revised June 18, 2020
 - Lot 2 Ultimate R.O.W., dated December 19, 2018 revised June 18, 2020
 - Lot 3 Ultimate R.O.W., dated December 19, 2018 revised June 18, 2020
 - Lot 4 Ultimate R.O.W., dated December 19, 2018 revised June 18, 2020
 - Right-of-Way for Dedication, dated August 15, 2018, revised June 18, 2020
 - Stormwater Easement, dated August 15, 2018, revised June 18, 2020
 - Utility Easement in Favor of Lot 4, dated December 19, 2018 revised June 18, 2020
- Cost Estimate - Edinburgh Square Subdivision dated June 9, 2020

ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS



2129 E. High Street | Pottstown, PA 19464
N 40° 14' 40.2" W 075° 36' 09.6"

610.323.4040
www.bursich.com

The following supplemental documents are also part of the application:

- Order of the Hatfield Borough Zoning Hearing Board from Dischell Bartle Dooley Law Offices with a Mailing Date of September 1, 2017
- Letter from Enbridge (Texas Eastern Pipeline) dated March 27, 2018 pertaining to subdivision approval and Texas Eastern Pipeline conditions
- Letter from CKS (Hatfield Township Engineer) dated February 13, 2018 pertaining to stormwater conveyance
- Sewage “Approval Letter - Revision” from the PaDEP dated April 3, 2020 pertaining to sewage facilities planning approval
- “Will-serve” letters from the NPWA including installation scope and costs, dated January 30, 2018, for each of the four lots
- Privacy fence quote from County Line Fence Company, Inc. dated May 12, 2018 and signed by Stephen and Kelly Bowers
- Letter from the Montgomery County Planning Commission dated October 10, 2017

Based on the submitted plan, the property proposed for subdivision contains approximately 1.39 acres and is located at 510 Koffel Road at the northeast corner of the intersection of West Vine Street and Koffel Road. It is located in the R-1 Residential District, and currently contains a duplex dwelling, garage, storage building, and paved driveways. A gas pipeline easement traverses through the southeastern portion of the property. The project proposes to demolish the existing improvements and create a four-lot subdivision for four new single family detached dwellings.

The Hatfield Borough Council approved Resolution No. 2018-16 on May 16, 2018 granting preliminary subdivision and land development approval of a two-lot phased subdivision. Borough Council also approved Resolution 2018-18 granting final approval of the two-lot subdivision and construction of phase 1, which consisted of a house on Lot 1 and associated improvements.

The project will no longer be phased as previously proposed, and the applicant withdrew the application on June 17, 2020. The Borough accepted a new application for the four-lot subdivision and land development on June 2, 2020.

We offer the following for your consideration:

VARIANCES GRANTED

The Hatfield Borough Zoning Hearing Board granted the following variances from the Borough’s Zoning Ordinance on August 31, 2017:

1. A variance from Section 27-1204 to permit the proposed Lots 1, 2, and 3 to have a lot area of less than 9,000 square feet;
2. A variance from Section 27-1204 to permit proposed Lots 1 and 2 to have a lot width of 50 feet when 60 feet is required;
3. A variance from Section 27-1204 to permit proposed Lots 3 and 4 to have rear yard setback of 40 feet when 60 feet is required.

The relief was granted subject to the following conditions:

1. All Borough Subdivision and Land Development Ordinance requirements for buffering and landscaping shall be complied with during the Borough's consideration of Applicant's subdivision and land development application for the Subject property (and Applicant shall consider the fence requested by Stephen Bowers in his letter dated August 31, 2017);
2. All Borough Subdivision and Land Development Ordinance requirements for stormwater controls and management shall be complied with during the Borough's consideration of Applicant's subdivision and land development application for the Subject property;
3. Proposed Lot 4 shall be deed restricted from further subdivision;
4. Applicant's Plans shall be revised to show the required Right-of-Way on West Vine Street (25-feet from centerline) or a waiver shall be obtained from Borough Council during the Borough's consideration of Applicant's subdivision and land development application for the Subject property (it acknowledged that this may result in the lot areas for proposed Lots 1, 2, and 3 being reduced from that shown on the Plans – such reduction is approved as part of this relief set forth herein so long as the lot area for each lot is only reduced by a maximum of 5 feet multiplied by the width of said lot).

REQUESTED WAIVERS

Under the withdrawn two-lot subdivision application the Hatfield Borough Council granted the following waivers from the Borough's Subdivision and Land Development Ordinance on May 16, 2018:

1. §22-305.D. – a waiver from illustrating all off-site existing features within 200 feet in lieu of the aerial photograph provided;
2. §22-420.B.(3) – a waiver to allow variations in the otherwise required spacing of street trees to allow for clear sight lines at intersections as well as to allow for no trees planted on the existing Texas Eastern Gas Pipeline Easement as shown on the Plans;
3. Section 26-123.C. – a waiver to allow for a different stormwater volume management design in view of the existing soil with limited dewatering capacity in view of the fact that the addition of a stormwater basin reduces the overall site runoff rates by 45% over existing conditions;
4. Section 26-124.A – a waiver to allow a de minimus increase in runoff in a 100 year storm from the basin as approved by Hatfield Township's engineer on behalf of Hatfield Township since the runoff from the site will be absorbed by the Township.

The Borough also waived the requirement that the Applicant install a sidewalk along its Koffel Road frontage.

The applicant issued a letter dated June 4, 2020 requesting the same waivers.

SUBDIVISION AND LAND DEVELOPMENT ORDINANCE

Our previous comments have been satisfactorily addressed.

EROSION AND SEDIMENTATION CONTROL COMMENTS

Our previous comments have been satisfactorily addressed.

SANITARY SEWER COMMENTS

1. PADEP granted sewage planning approval for the project as indicated in their April 3, 2020 letter to the Borough.

LEGAL DESCRIPTION COMMENTS

1. Our previous comments have been satisfactorily addressed.

GENERAL COMMENTS

1. A Stormwater Operation and Maintenance Agreement between the Applicant and Borough shall be executed and recorded in a form satisfactory to the Borough Solicitor.
2. The plan notes pertaining to stormwater facility operation and maintenance shall be consistent with the Stormwater Operation and Maintenance Agreement. The required language is being coordinated with Borough staff and the applicant.
3. The Borough should secure financial security for the proposed work. The cost estimates for demolition and development work are being coordinated with the applicant's engineer.

The comments are made with the understanding that all existing features and topography are accurately represented on the plans, and that all designs, calculations and surveys are accurate and have been prepared in accordance with current laws, regulations, and currently accepted Professional Land Surveying and Engineering practices.

If you have any questions or comments with this review, please do not hesitate to contact me at 484-941-0418 or chad.camburn@bursich.com

Sincerely,



Chad E. Camburn, P.E.
Director of Municipal Services
Bursich Associates, Inc., Pottstown Corporate Office

pc: Jaime Snyder, Borough Assistant Secretary (via email)
Kate Harper, Borough Solicitor (via email)
Matt Traynor, Hatfield Borough Code Enforcement/Zoning Officer (via email)
Caracausa Building and Development Inc., Applicant (via email)
Jeremiah Hoagland, P.E. The Crossroads Group, LLC, Applicant's Engineer (via email)

4. New Business:

C. Bennett's Court Land Development Update

4. New Business:

D. Fireworks by Permit

Fireworks FAQ

House Bill 542 was signed into law on October 30, 2017. Under the new law, the Fireworks Act of 1939 was repealed and replaced in its entirety. The complete version of the new law can be viewed [here](#). However, the questions and answers below highlight the most noteworthy changes.

Q: Which fireworks are Pennsylvania residents now allowed to purchase and use?

Consumers can now purchase and use “Class C” or “consumer-grade” fireworks that include firecrackers, Roman candles, bottle rockets, and similar fireworks that contain a maximum of 50 milligrams of explosive material. The expansion includes those fireworks that were previously only available to out-of-state residents.

“Display fireworks,” which are classified as including salutes that contain more than two grains or 130 milligrams of explosive materials, and professional-grade aerial shells containing more than 60 grams of pyrotechnic compositions, are still only to be used by professionals with a permit from the municipality where the display will take place.

Q: Who can purchase fireworks?

Anyone 18 years of age or older can purchase them.

Q: What are the restrictions on where they can be used?

- They cannot be ignited or discharged on a public or private property without express permission of the property owner.
- They cannot be discharged from or within a motor vehicle or building.
- They cannot be discharged toward a motor vehicle or building.
- They cannot be discharged within 150 feet of an occupied structure, whether or not a person is actually present.
- They cannot be discharged while the person is under the influence of alcohol, a controlled substance, or another drug.

Also, it is recommended that you check with your local municipality, as you may also be subject to applicable local ordinances.

Q: Where can the fireworks be purchased?

Airborne fireworks, including Roman candles and bottle rockets may only be purchased at brick-and-mortar stores. A list of retailers can be found in this [map](#)[Opens In A New Window](#).

Other Links of Interest:

U.S. Bureau of Alcohol, Tobacco and Firearms: [Federal Explosive and Firework regulations](#) [Opens In A New Window](#)

U.S. Consumer Products Safety Commission - Safety and Federal Regulations: [Fireworks Business Guidance](#) [Opens In A New Window](#) and [Fireworks Enforcement Activities Annual Report](#) [Opens In A New Window](#)

American Pyrotechnic Association (APA): [Directory of State Laws and other Industry Information](#) [Opens In A New Window](#)

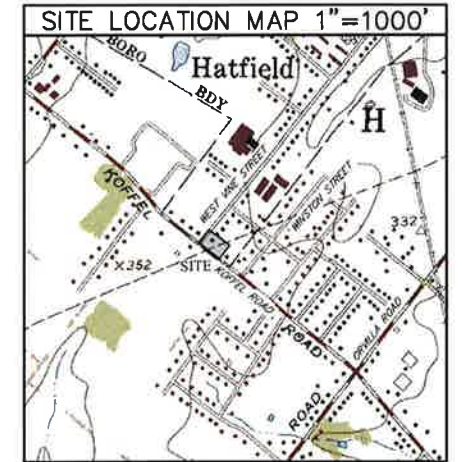
5. Action Items:

6. Next Meeting for April is Monday,
August 3, 2020 7:00PM

PRELIMINARY/FINAL SUBDIVISION PLANS

OF

EDINBURGH SQUARE FOUR-LOT SUBDIVISION



Sheet Index	
Sheet Number	Sheet Title
1	FINAL SUBDIVISION PLAN
2	EXISTING FEATURES PLAN
3	EXISTING FEATURES AERIAL
4	CONSTRUCTION IMPROVEMENT PLAN
5	CONSTRUCTION DETAILS - SITE
6	EROSION & SEDIMENT CONTROL & LANDSCAPING PLAN
7	CONSTRUCTION DETAILS - ES & PCSM
8	PRE-DEVELOPMENT DRAINAGE SHED PLAN
9	POST-DEVELOPMENT DRAINAGE SHED PLAN

TO BE RECORDED

A RESIDENTIAL SITE IN

HATFIELD BOROUGH, MONTGOMERY
COUNTY, PENNSYLVANIA

PREPARED FOR

CARACAUSA BUILDING
AND DEVELOPMENT INC

510 KOFFEL ROAD,
HATFIELD, PA 19440

PLANS PREPARED BY



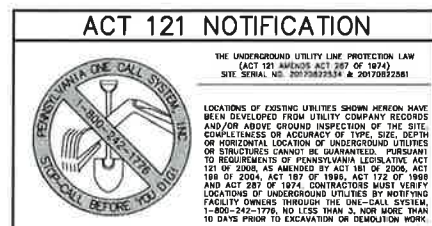
The
Crossroads
GROUP, LLC

www.thecrossroadsgroupllc.com

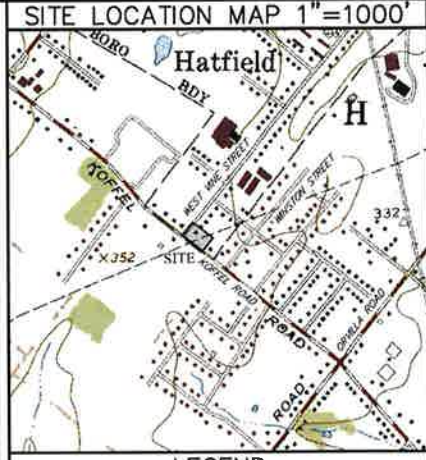
16590 Pottsville Pike, Suite A
Hamburg, PA 19526
Phone: 484-660-3055 Fax: 484-660-3742
1174 SR 487
Paxinos, PA 17860
Phone: 570-672-2317
CIVIL ENGINEERING † LAND DEVELOPMENT † SITE SURVEY † A/E TELECOM

NO.	REVISION DESCRIPTION	DATE
1	PER BOROUGH ENGINEERS REVIEW LETTER DATED 9/28/17	10/04/17
2	PER ONGOING CORRESPONDANCE WITH BOROUGH STAFF	1/29/18
3	PER BOROUGH PLANNING COMMISSION / STAFF COMMENTS	1/31/18
4	PER BOROUGH ENGINEERS REVIEW LETTER DATED 2/22/18	3/15/18
5	PER PROJECT PHASING	4/25/18
6	PER BOROUGH ENGINEERS REVIEW LETTER DATED 5/30/18	6/15/18
7	PER BOROUGH ENGINEERS REVIEW LETTER DATED 11/29/18	12/20/18
8	PER BOROUGH ENGINEERS REVIEW DATED 8/13/20	8/19/20
9	PER BOROUGH ENGINEERS REVIEW DATED 8/13/20	8/19/20
10	PER BOROUGH ENGINEERS REVIEW DATED 8/20/20	7/20/20

Note: These plans are not to be used for construction unless the plan contains a red stamp indicating "ISSUED FOR CONSTRUCTION" by The Crossroads Group, LLC. The Crossroads Group, LLC shall assume no liability for construction performed from plans not containing the stamp.



EDINBURGH SQUARE FOUR-LOT SUBDIVISION
CARACAUSA BLDG & DEVPMT.
HATFIELD BOROUGH, MONTGOMERY COUNTY, PENNSYLVANIA
PROJECT NUMBER: 2178



LEGEND

- TRACT BOUNDARY
- EX. RIGHT-OF-WAY
- EX. EASEMENT
- ADJOINING PROPERTY LINE

NOTE: THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS ISSUED FOR CONSTRUCTION. WE SHALL ASSUME NO LIABILITY FOR CONSTRUCTION PERFORMED FROM PLANS NOT CONTAINING THIS STAMP.

THE CROSSROADS GROUP, LLC
 11742 RYAN DR
 PARSIPPANY, NJ 07054
 TEL: 973-261-5318
 WWW.THECROSSROADSGROUP.COM

THE CROSSROADS GROUP, LLC
 CIVIL ENGINEERING & LAND DEVELOPMENT & SITE SURVEY & ASSESSMENT

EXISTING FEATURES AERIAL
 EDINBURGH SQUARE FOUR-LOT SUBDIVISION
 CARACAUSA BLDG. & DEVPMNT.
 HATFIELD BOROUGH, MONTGOMERY COUNTY, PENNSYLVANIA

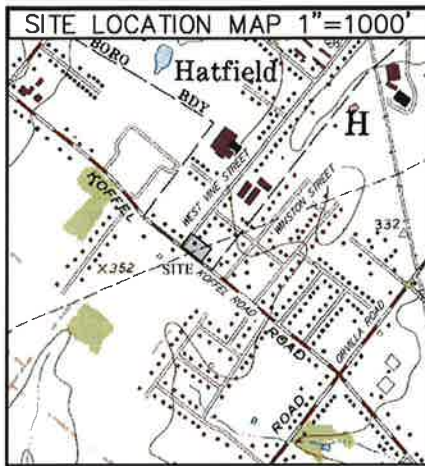
ACT 121 NOTIFICATION

THE UNDERGROUND UTILITY LINE PROTECTION LAW (ACT 121 AMENDS ACT 287 OF 1974) SITE SERIAL NO. 20170822534 & 20170822561

LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT 121 OF 2008, AS AMENDED BY ACT 88 OF 2006, ACT 18 OF 2004, ACT 187 OF 1995, ACT 172 OF 1995 AND ACT 287 OF 1974, CONTRACTORS MUST VERIFY LOCATIONS OF UNDERGROUND UTILITIES BY NOTIFYING FACILITY OWNERS THROUGH THE ONE-CALL SYSTEM, 1-800-243-1776, NO LESS THAN 3 WORKING DAYS PRIOR TO EXCAVATION OR DEMOLITION WORK.

SEAL: PENNSYLVANIA ONE CALL SYSTEM INC. STATEWIDE BEFORE YOU DIG

PROJECT MANAGER	JDH
DRAWING FILE NAME	XFPL-AERIAL
PLAN ORIGINATOR DATE	8-14-17
PLAN LAST REVISED	7-01-20
PLAN SCALE	1" = 30'
PROJECT NUMBER	2179
SHEET NUMBER	3 OF 9

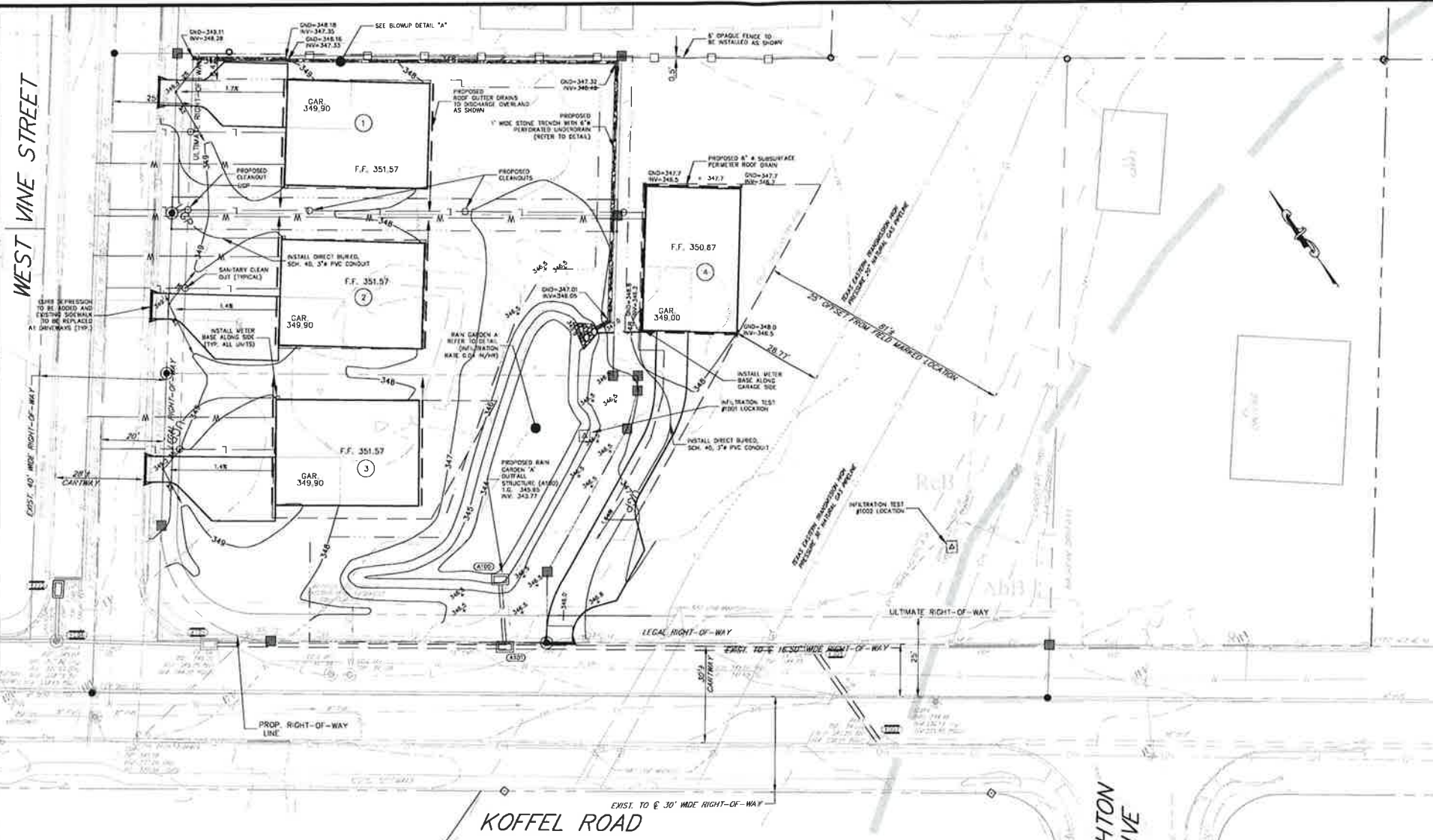


LEGEND

- TRACT BOUNDARY
- EXISTING PARCEL LINE TO BE ABANDONED
- EXISTING RIGHT-OF-WAY
- EXISTING EASEMENT
- ADJOINING PROPERTY LINE
- EXISTING ZONING/TOWNSHIP BOUNDARY
- EXISTING WATER LINE/SERVICE
- EXISTING STORM SEWER LINE/INLET
- EXISTING GAS LINE
- EXISTING ELECTRIC LINE (UNDERGROUND)
- EXISTING ELECTRIC LINE (OVERHEAD)
- EXISTING SANITARY SEWER LINE/MAINLINE
- EXISTING SANITARY LATERAL
- EXISTING CURB
- EXISTING EDGE OF ROAD (PAVED)
- EXISTING SHOULDER (PAVED)
- EXISTING EDGE OF ROAD (UNPAVED)
- EXISTING DRIVEWAY
- EXISTING ROAD CENTERLINE
- EXISTING FENCE
- EXISTING CONTOUR
- EXISTING AREA CONTOUR
- SOIL DETENTION LINE
- STREAM CHANNEL
- FEMA DELINEATED FLOODPLAIN
- EXISTING CLOSER
- EXISTING WOODPILE
- EXISTING BROWSHIRE
- EXISTING BUILDINGS

LEGEND

- PROPOSED BUILDING
- PROPOSED BUILDING - SETBACK LINE
- PROPOSED LOT - PARCEL LINE
- PROPOSED EASEMENT - LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED ROAD CENTERLINE
- PROPOSED ROAD EDGE (PAVED/NO CURB)
- PROPOSED ROAD SHOULDER
- PROPOSED ROAD PAVEMENT MARKINGS
- PROPOSED SEWER MAIN - PIPING
- PROPOSED SEWER LATERAL
- PROPOSED STORM SEWER - PIPING
- PROPOSED WATER MAIN - PIPING
- PROPOSED WATER LATERAL
- PROPOSED FENCE LINE
- PROPOSED CURBLINE
- PROPOSED DRIVEWAY
- PROPOSED SOIL RESTRICTION - LINE
- CLEAR SIGHT TRIANGLE
- PROPOSED SANITARY FORCE MAIN
- PROPOSED PHASE LINE
- PROPOSED GARAGE
- PROPOSED BUTTER
- PROPOSED CONCRETE
- PROPOSED ROOF DRAIN
- PROPOSED SAN. CLEANOUT
- PROPOSED GRADE LINE



STORM WATER MAINTENANCE NOTES

STORMWATER MANAGEMENT
STORMWATER MANAGEMENT FOR THE PROJECT SITE IS LIMITED TO ONLY RUNOFF MANAGEMENT ALONG THE NORTHERLY LOT LINE. OVERALL IMPERVIOUS AREA FOR THE PROPOSED DEVELOPMENT IS BEING REDUCED FROM 7826 SF (EXISTING) TO 2003 SF. (PROPOSED)

MAINTENANCE NOTES

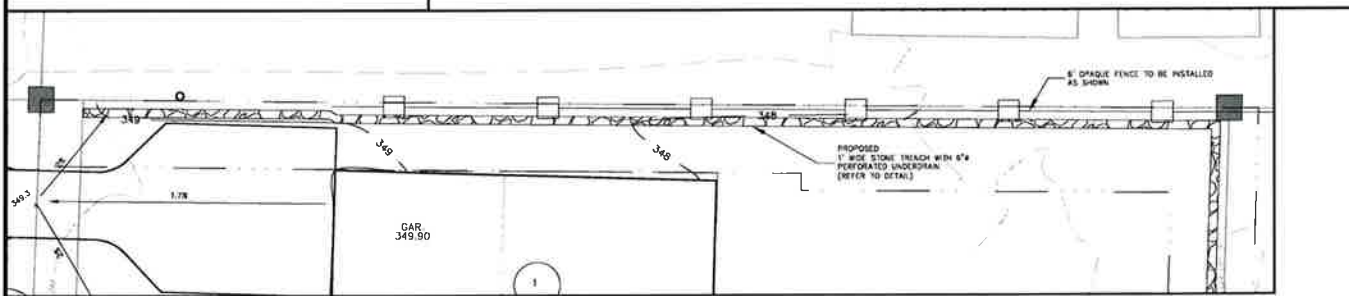
1. YARD TRENCH DRAINS SHOULD BE INSPECTED FOR SEDIMENT BUILDUP, EROSION, AND OPERATION AND CLEANED AT LEAST TWO (2) TIMES PER YEAR TO PREVENT BUILDUP OF DETRITUS.
2. IF THE YARD TRENCH DRAIN IS IN A LAWN AREA, VEGETATION SURROUNDING THE STONE BED SHOULD BE MAINTAINED IN GOOD CONDITION AND ANY BARE SPOTS RE-VEGETATED AS SOON AS POSSIBLE.
3. FOR YARD DRAIN TRENCHES IN LAWN AREAS, VEHICLES SHOULD BE PROHIBITED FROM DRIVING OVER OR PARKING ON THE TRENCH.
4. FOR YARD DRAIN TRENCHES IN PAVED AREAS, THE PIPES SHOULD BE INSTALLED DEEP ENOUGH TO PREVENT COLLAPSE FROM VEHICLES DRIVING OVER AND PARKING ON THE TRENCH.
5. AFTER LARGE STORMWATER EVENTS YARD TRENCH DRAINS SHOULD BE INSPECTED TO ENSURE PROPER OPERATION AND THAT THE PIPE OUTLET REMAINS FREE OF DEBRIS.

THE PORTIONS OF THE STORMWATER BMP'S INCLUDING STORM SEWER CONNECTION TO PUBLIC STORM SEWER SYSTEM WITHIN KOFFEL ROAD RIGHT OF WAY SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER ON WHICH THE FACILITY IS LOCATED IN PERPETUITY. THE MAINTENANCE WILL BE CONDUCTED ON A SHORT TERM AND LONG TERM SCHEDULE BY THE OWNER.

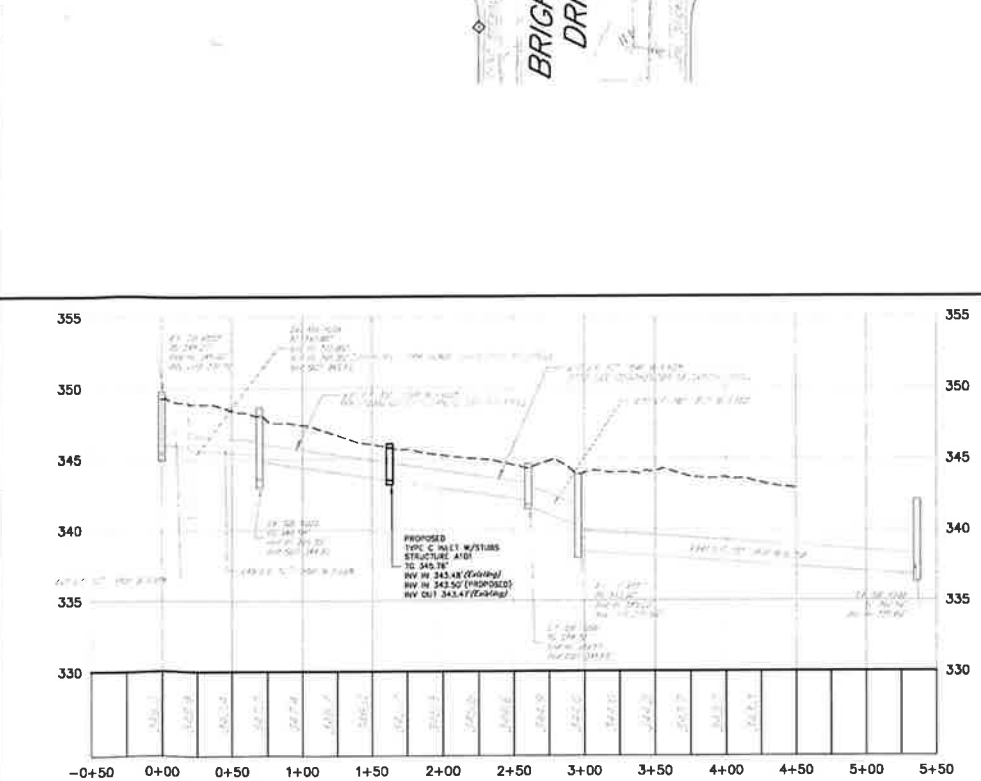
- A. INSPECT THE STORMWATER BMP'S AFTER MAJOR STORM EVENT WHICH YIELDS ONE (1) FOOT OR MORE OF STANDING WATER WITHIN THE FACILITY FOR DAMAGE AND/OR URON ACTIVITY - REPAIR EROSION WITH THE APPROPRIATE MEASURES IMMEDIATELY.
- B. INSPECT BMP ANNUALLY FOR THE FIRST FIVE (5) YEARS AFTER INSTALLATION.
- C. INSPECTIONS SHOULD OCCUR EVERY THREE (3) YEARS, THEREAFTER.

MAN. SCHEDULE / INSPECTION SCHEDULE

1. WHILE VEGETATION IS BEING ESTABLISHED, PRUNING AND WEEDING MAY BE REQUIRED. WEEDS SHOULD BE REMOVED THEREAFTER BY HAND.
2. DETRITUS MAY ALSO NEED TO BE REMOVED APPROXIMATELY THREE PER YEAR. PERENNIAL PLANTINGS MAY BE CUT DOWN AT THE END OF THE GROWING SEASON.
3. MULCH SHOULD BE RE-SPREAD WHEN EROSION IS EVIDENT AND BE REPLISHED ANNUALLY. ONCE EVERY 2 TO 3 YEARS THE ENTIRE AREA MAY REQUIRE MULCH REPLACEMENT.
4. LAWN GARDENS SHOULD BE INSPECTED AT LEAST TWO TIMES PER YEAR FOR SEDIMENT BUILDUP, EROSION, VEGETATIVE CONDITIONS, ETC.
5. DURING PERIODS OF EXTENDED DROUGHT, RAIN GARDENS MAY REQUIRE WATERING.
6. RAIN GARDENS SHOULD NOT BE MOWED ON A REGULAR BASIS.
7. TREES AND SHRUBS SHOULD BE INSPECTED TWICE PER YEAR TO EVALUATE HEALTH.



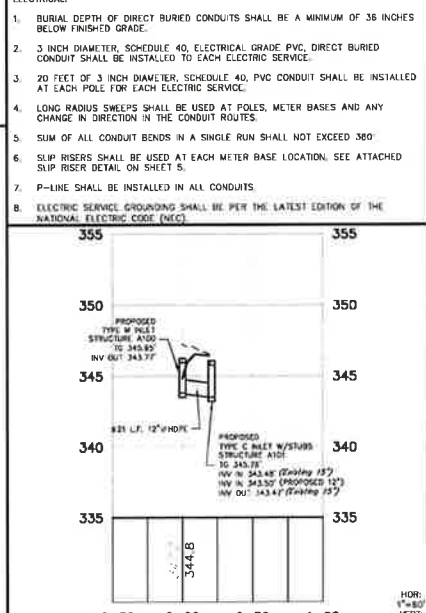
BLOWUP GRADING DETAIL "A"
SCALE: 1" = 10'



PROFILE - EXISTING AND PROPOSED STORM

CONSTRUCTION NOTES

- STORM SEWER**
1. UNLESS OTHERWISE NOTED, ALL STORM SEWER INLETS SHALL BE EITHER PENNDOT TYPE "C" OR TYPE "M" AND SHALL CONFORM TO PENNDOT PUBLICATION 408 (LATEST EDITION).
 2. UNLESS OTHERWISE NOTED, ALL STORM SEWER PIPING SHALL BE REINFORCED CONCRETE PIPE AND SHALL CONFORM TO PENNDOT PUBLICATION 408 (LATEST EDITION).
 3. THE TOP OF GRATE ELEVATION FOR ALL CURBSIDE STORM SEWER INLETS IS FOR THE CENTER OF THE INLET AT THE FACE OF CURB. THE CONTRACTOR SHALL PROJECT THE ROADWAY GRADE ALONG THE LENGTH OF THE INLET.
 4. ALL STORM SEWER LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. PIPE SLOPES ARE CALCULATED BASED ON THIS LENGTH.
 5. ALL LOTS SHALL BE PROPERLY GRADED TO ENSURE PROPER DRAINAGE AWAY FROM HOUSES TO THE NEAREST INLET OR WATERCOURSE WITHOUT PONDING OR OBSTRUCTION. A MINIMUM OF 2% SLOPE SHALL BE PROVIDED ON ALL GRASSED AREAS.
- SANITARY SEWER**
1. ALL MATERIALS AND DETAILS OF CONSTRUCTIONS, INSTALLATION PROCEDURES, AND REQUIREMENTS WITH RESPECT TO SANITARY SEWERAGE FACILITIES SHALL BE IN ACCORDANCE WITH THE HATFIELD TOWNSHIP MUNICIPAL AUTHORITY STANDARD CONSTRUCTION AND MATERIAL SPECIFICATIONS FOR SANITARY SEWER EXTENSIONS (LATEST EDITION).
 2. PROPOSED SANITARY SERVICE REQUIRES INSTALLATION OF SEWER LATERALS ONLY.
 3. CRAVY SANITARY SEWER SERVICE WILL BE PROVIDED TO THE FIRST FLOOR ELEVATION OF EACH DWELLING. BASEMENT SANITARY SEWER SERVICE WILL NOT BE PROVIDED UNLESS OTHERWISE NOTED.
 4. A MINIMUM OF EIGHTEEN (18) INCHES OF VERTICAL CLEARANCE IS REQUIRED BETWEEN ALL UTILITIES AND THE SANITARY SEWER LINES. THIS INCLUDES STREET LATERALS.
 5. NO TREE OR BUSH SHALL BE PLACED WITHIN 10 FEET OF A SANITARY SEWER MAIN OR LATERAL.
- WATER DISTRIBUTION:**
1. PROPOSED WATER SERVICE REQUIRES INSTALLATION OF LATERALS ONLY. CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST REVISION OF THE STANDARD CONSTRUCTION AND MATERIAL SPECIFICATIONS OF THE NORTH PENN WATER AUTHORITY.
- GENERAL CONSTRUCTION:**
1. THIS PLAN CONTAINS PRELIMINARY INFORMATION PERTAINING TO UNDERGROUND UTILITIES WHICH IS FOR GENERAL INFORMATION ONLY, AND MAY NOT BE BASED ON AN ACTUAL SURFACE LOCATION SURVEY. ALL SUBSURFACE INFORMATION SHOWN ON THESE PLANS ALSO TO BE VERIFIED BY THE PLANNING. THE PREPARER OF THIS PLAN ASSUMES NO RESPONSIBILITY FOR AND MAKES NO REPRESENTATION OR WARRANTIES AS TO THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES OR OTHER UNDERGROUND FEATURES. THE USER SHALL EXECUTE A PA ONE CALL PRIOR TO ANY EXCAVATION ON THE SITE.
 2. A MINIMUM VERTICAL CLEARANCE OF 18 INCHES SHALL BE PROVIDED AT ALL UTILITY CROSSINGS, WHERE 18 INCHES OF CLEARANCE CAN NOT BE OBTAINED, THE LOWER UTILITY LINE SHALL BE CONCRETE ENCASED FOR A LENGTH OF 20 FEET, CENTERED ABOUT THE CROSSING.
 3. ALL CONSTRUCTION SHALL CONFORM TO HATFIELD BOROUGH P STANDARDS AND SPECIFICATIONS OR PENNDOT PUBLICATION 408 (LATEST EDITION), WHICHEVER IS APPLICABLE.
 4. GAS, ELECTRIC, CABLE AND TELEPHONE SHALL BE PROVIDED TO ALL UNITS VIA UNDERGROUND SERVICE.
 5. TOPSOIL SHOULD BE REMOVED FROM ALL AREAS OF CONSTRUCTION AND STORED SEPARATELY, PRIOR TO BULK EXCAVATION. UPON COMPLETION OF CONSTRUCTION, THE TOPSOIL SHOULD BE REDISTRIBUTED ON THE SITE UNIFORMLY.
 6. NO PLANTINGS OR STRUCTURES SHALL BE PERMITTED WITHIN ANY EASEMENTS. ALL EASEMENT AREAS SHALL BE MAINTAINED AS LAWN AREA BY THE PROPERTY OWNER.
 7. BASEMENTS ARE PROPOSED FOR ALL UNITS. NO SUMP PUMPS OR ROOF DRAINS SHALL DISCHARGE DIRECTLY ONTO DRIVEWAYS, SIDEWALKS, STREETS OR INTO THE SANITARY SEWER COLLECTION SYSTEM. ANY WATER ORIGINATING FROM SUMP PUMPS AND ROOF DRAINS SHALL BE COLLECTED AND DISCHARGED EITHER INTO THE PROPOSED STORM SEWER SYSTEM OR TO THE REAR YARD OF THE DWELLING (WITH APPROPRIATE OVERLAND DRAINAGE) AND WILL NOT CONVEY WATER TO A NEIGHBORING PROPERTY.
 8. ALL CONTRACTORS SHALL BE RESPONSIBLE TO INSURE THAT ALL TRENCH EXCAVATIONS BE ADEQUATELY STABILIZED AND ACCESSED IN ACCORDANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REQUIREMENTS, INCLUDING ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS / CODES OF SAFE PRACTICE AND PROCEDURES.
 9. CONTRACTOR SHALL PRE-TEST DESIGN DEPTHS FOR ALL BMP'S PRIOR TO INSTALLING RELATED STRUCTURES OR PERFORMING BULK EXCAVATION (REFER TO THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN FOR ALL BMP AND ASSOCIATED STRUCTURE LOCATIONS). MINOR ADJUSTMENTS MAY BE NECESSARY DURING CONSTRUCTION DUE TO UNKNOWN SITE CONDITIONS. IF NECESSARY, THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER IMMEDIATELY FOR FURTHER EVALUATION. ALL FIELD CHANGES MUST BE REVIEWED AND APPROVED BY THE MUNICIPALITY AND/OR AGENCY HAVING JURISDICTION.
 10. ALL MATERIALS AND DEBRIS FROM DEMOLITION ACTIVITY SHALL BE HAULED OFFSITE TO AN APPROVED LANDFILL. ALL RELATED APPROVALS AND HAULING PERMITS SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR. NO DEBRIS SHALL BE INCINERATED, BURIED OR DISPOSED OF ON SITE.
 11. ANY SPRINGS/GROUND WATER ENCOUNTERED DURING ROADWAY/PARKING LOT CONSTRUCTION SHALL BE OUTFITTED BY U-DRAIN TO THE NEAREST STORM SEWER FACILITY OR WATERCOURSE. U-DRAIN PLACEMENT MUST BE REVIEWED AND APPROVED BY THE TOWNSHIP/BOROUGH ENGINEER PRIOR TO INSTALLATION AND/OR AS DIRECTED BY THE TOWNSHIP/BOROUGH ENGINEER OR ASSIGNED REPRESENTATIVE.
- GROUNDWATER:**
1. BASED ON TESTING PERFORMED BY PENN'S TRAIL ENVIRONMENTAL, SHALLOW GROUNDWATER HAS BEEN IDENTIFIED ON-SITE. CONTRACTOR SHALL VERIFY THE PRESENCE OF ANY GROUNDWATER OR SPRINGS DURING CONSTRUCTION. PROCESS IF GROUNDWATER IS DETECTED, THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER IMMEDIATELY FOR FURTHER EVALUATION.
- ELECTRICAL:**
1. BURIAL DEPTH OF DIRECT BURIED CONDUITS SHALL BE A MINIMUM OF 36 INCHES BELOW FINISHED GRADE.
 2. 3 INCH DIAMETER, SCHEDULE 40, ELECTRICAL GRADE PVC DIRECT BURIED CONDUIT SHALL BE INSTALLED TO EACH ELECTRIC SERVICE.
 3. 20 FEET OF 3 INCH DIAMETER, SCHEDULE 40, PVC CONDUIT SHALL BE INSTALLED AT EACH POLE FOR EACH ELECTRIC SERVICE.
 4. LONG RADIUS SWEEPS SHALL BE USED AT POLES, METER BASES AND ANY CHANGE IN DIRECTION IN THE CONDUIT ROUTES.
 5. SUM OF ALL CONDUIT BENDS IN A SINGLE RUN SHALL NOT EXCEED 360°.
 6. SLIP RISERS SHALL BE USED AT EACH METER BASE LOCATION. SEE ATTACHED SLIP RISER DETAIL ON SHEET 5.
 7. P-LINE SHALL BE INSTALLED IN ALL CONDUITS.
 8. ELECTRIC SERVICE GROUNDING SHALL BE PER THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC).



PROFILE - RAIN GARDEN A OUTFALL

CONSTRUCTION IMPROVEMENT PLAN

EDINBURGH SQUARE FOUR-LOT SUBDIVISION

CARACAUSA BLDG. & DEVPMT.

HATFIELD BOROUGH, MONTGOMERY COUNTY, PENNSYLVANIA

PROJECT MANAGER: JDH

DRAWING FILE NAME: ZCI-STORM

PLAN ORIGINATOR DATE: 8-14-17

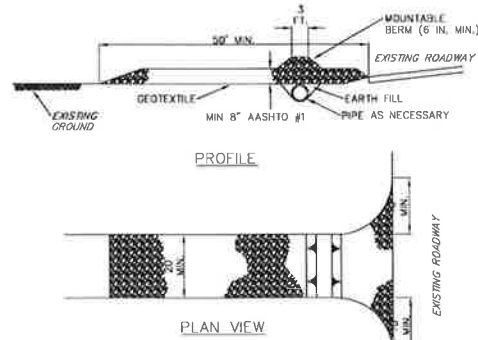
PLAN LAST REVISION: 7-01-20

PLAN SCALE: 1" = 20'

PROJECT NUMBER: 2179

SHEET NUMBER: 4 OF 9

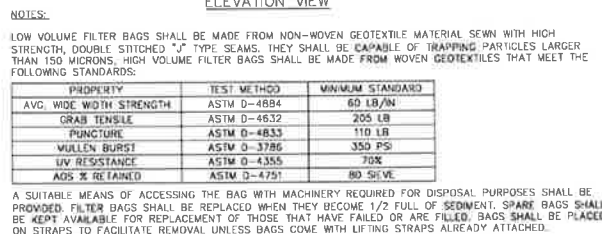
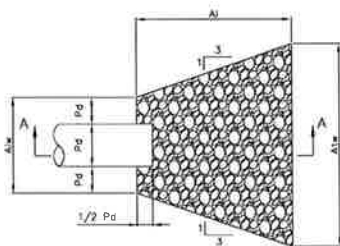
THE CROSSROADS GROUP, INC. CIVIL ENGINEERING & LAND DEVELOPMENT & SITE SURVEY & A/E TELECOM



NOTES:

- * MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE
- REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
- RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
- MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
- MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK, WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

**STANDARD CONSTRUCTION DETAIL #3-1
ROCK CONSTRUCTION ENTRANCE**
NOT TO SCALE



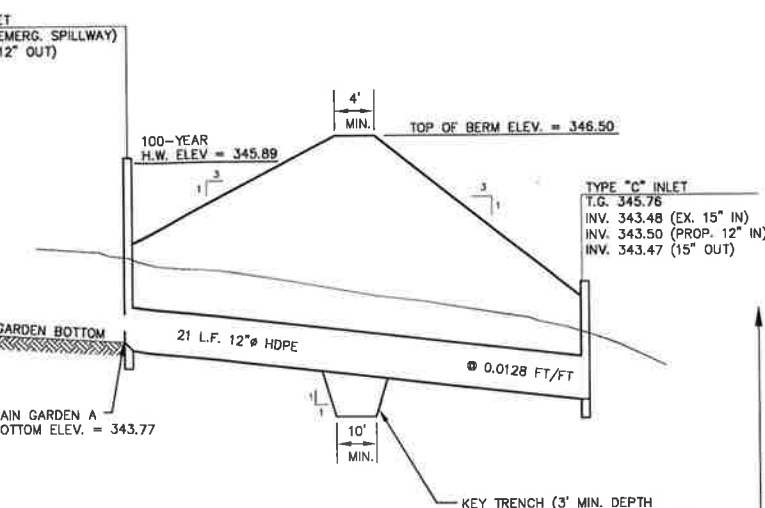
NOTES:

- SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.
- COMPOST FILTER SOCKS SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.
- TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.
- ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
- COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
- BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

**STANDARD CONSTRUCTION DETAIL #4-1
COMPOST FILTER SOCK**
NOT TO SCALE

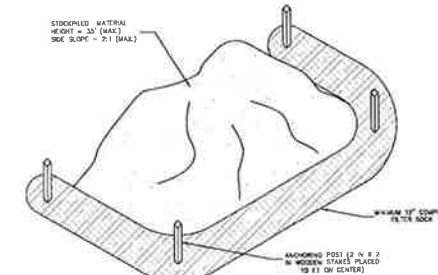
LABEL	SIZE	SILT FENCE/ COMPOST FILTER SOCK
A	12"	CFS
B	12"	CFS
C	12"	CFS
D	12"	CFS
E	12"	CFS

BARRIER NO.	LOCATION	SLOPE PERCENT	SLOPE LENGTH (FT)	FILTER SOCK SIZE
A	SOUTHWEST EDGE OF PROPERTY	2-5%	115	CFS 12
B	RAINGARDEN A	2-5%	120	CFS 12
C	TOPSOIL STOCKPILES	2-5%	20	CFS 12
D	NORTHEAST EDGE OF LOT 4	2-5%	20	CFS 12
E	YARD TRENCH DRAIN PERIMETER	2-5%	90	CFS 12

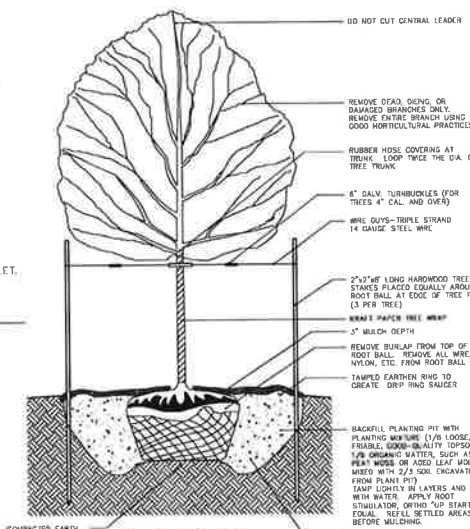


NOTES:

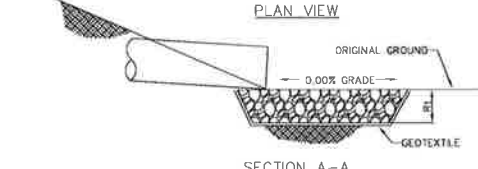
- A KEY TRENCH SHALL BE PROVIDED UNDER ALL EMBANKMENTS THAT REQUIRE FILL MATERIAL.
- CONSTRUCTION OF THE EMBANKMENTS MUST BE IN 6" LIFTS AND COMPACTED TO A DENSITY NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1527.
- CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE SUITABILITY OF SOIL FOR BERM/BASIN CONSTRUCTION, AND MUST NOTIFY THE DESIGN ENGINEER IF HE DEEMS THE SOIL UNSUITABLE.



STOCKPILE CONTROL
N.T.S.



**TYPICAL DECIDUOUS
TREE PLANTING DETAIL**
N.T.S.



OUTLET NO.	PIPE DIA (IN)	PIPE R-1	PIPE R-2	PIPE R-3	PIPE R-4	PIPE R-5	PIPE R-6	PIPE R-7	PIPE R-8	PIPE R-9	PIPE R-10	PIPE R-11	PIPE R-12
A901	12	R-4	R-4	R-4	R-4	R-4	R-4	R-4	R-4	R-4	R-4	R-4	R-4

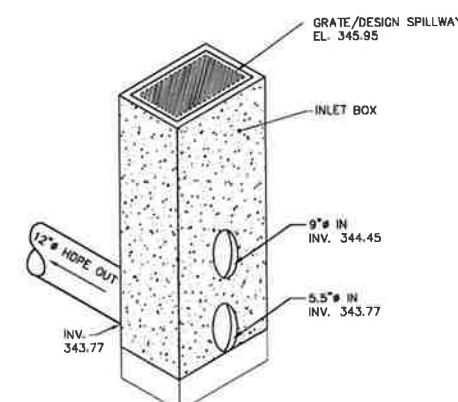
NOTES:

- ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.
- ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT, DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.
- EXTEND RIPRAP ON BACK SIDE OF APRON TO AT LEAST 1/2 DEPTH OF PIPE ON BOTH SIDES TO PREVENT SCOUR AROUND THE PIPE.

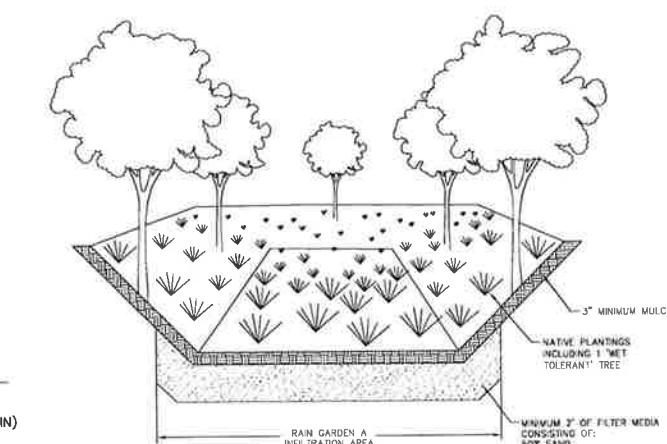
**STANDARD CONSTRUCTION DETAIL #9-2
RIPRAP APRON AT PIPE OUTLET
NO FLARED ENDWALL**
NOT TO SCALE

OUTLET NO.	PIPE DIA (IN)	PIPE R-1	PIPE R-2	PIPE R-3	PIPE R-4	PIPE R-5	PIPE R-6	PIPE R-7	PIPE R-8	PIPE R-9	PIPE R-10	PIPE R-11	PIPE R-12
A901	12	R-4	R-4	R-4	R-4	R-4	R-4	R-4	R-4	R-4	R-4	R-4	R-4

*** A PIPE SIZE OF 12 INCHES WAS ASSUMED FOR CALCULATION PURPOSES FOR OUTLET A901. THE PROPOSED YARD TRENCH DRAIN UTILIZES 6 INCH HDPE PERFORATED PIPE.



**RAIN GARDEN A OUTLET
STRUCTURE DETAIL**

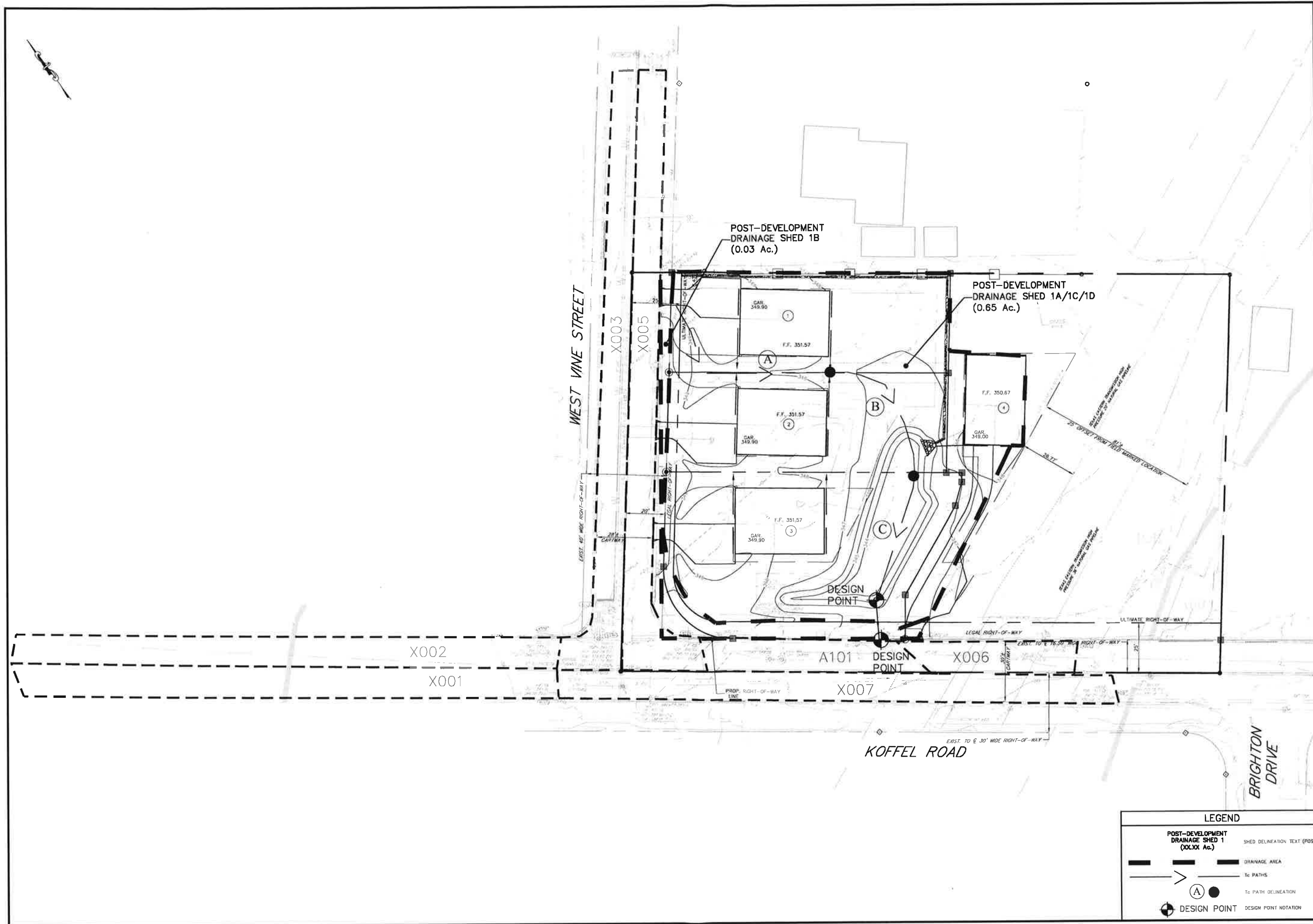


**RAIN GARDEN A
N.T.S.**

THE Crossroads
CROSSROADS GROUP, LLC
10000 Pineville Pike, Suite 100
Pineville, PA 15088
Phone: 412.327.2311
Fax: 412.327.2311
CIVIL ENGINEERING & LAND DEVELOPMENT & SITE SURVEY & E-TELECON

CONSTRUCTION DETAILS - ES & PCSM
EDINBURGH SQUARE FOUR-LOT SUBDIVISION
PREPARED FOR
CARACAUSA BLDG. & DEVPMT.
HATFIELD BOROUGH, MONTGOMERY COUNTY, PENNSYLVANIA

PROJECT MANAGER: **JDH**
DRAWING FILE NUMBER: **ZDET**
PLANS/ISSUATION DATE: **8-14-17**
PLANS LAST REVISED: **7-01-20**
PLANS SCALE: **N.T.S.**
PROJECT NUMBER: **2179**
SHEET NUMBER: **7** OF **9**



DESIGNER'S CERTIFICATION
 5/20/2014 JZM/AS
 MICHAEL S. JORDAN

NOTE: THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THE PLAN CONTAINS A RED STAMP INDICATING ISSUED FOR CONSTRUCTION. WE SHALL ASSUME NO LIABILITY FOR CONSTRUCTION PERFORMED FROM PLANS NOT CONTAINING THIS STAMP.

1"=20'
 0 10 20 30 40 50 60 70 80 90 100
 FEET

THE Crossroads GROUP, LLC
 CIVIL ENGINEERING & LAND DEVELOPMENT & SITE SURVEY & ASSESSMENT
 1400 Piney Grove Road, Suite 100
 Harrisburg, PA 17108
 Phone: 717-655-3435
 Fax: 717-655-3436
 www.thecrossroadsgroup.com
 Harrisburg, PA 17108
 Phone: 717-655-3435
 Fax: 717-655-3436

POST-DEVELOPMENT DRAINAGE SHED PLAN
 EDINBURGH SQUARE FOUR-LOT
 SUBDIVISION
 CARACAUSA BLDG. & DEVPMT.
 HATFIELD BOROUGH, MONTGOMERY COUNTY, PENNSYLVANIA

PROJECT MANAGER	JDH
DRAWING TITLE NAME	ZSHEDS
PLAN ORIGIN DATE	8-14-17
PLAN LAST REVISED	7-01-20
PLAN SCALE	1"=20'
PROJECT NUMBER	2179
SHEET NUMBER	9 OF 9

LEGEND

	POST-DEVELOPMENT DRAINAGE SHED 1 (0.03 Ac.)		SHED DELINEATION TEXT (POST)
	DRAINAGE AREA		TO PATH
	TO PATH DELINEATION		DESIGN POINT NOTATION

COMMONWEALTH OF PENNSYLVANIA
 COUNTY OF MONTGOMERY

ON THE _____ DAY OF _____ A.D. 20____, BEFORE ME, THE
 SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF
 PENNSYLVANIA, PERSONALLY APPEARED HOWARD E. HECKLER, WHO
 ACKNOWLEDGED THIS PLAN TO BE THE OFFICIAL PLAN OF STREETS
 AND PROPERTY SHOWN THEREON, SITUATED IN THE BOROUGH OF
 HATFIELD, COUNTY OF MONTGOMERY, COMMONWEALTH OF
 PENNSYLVANIA, AND DESIRED THAT THIS PLAN BE RECORDED
 ACCORDING TO LAW.

SEAL _____ NOTARY PUBLIC
 MY COMMISSION EXPIRES _____

I, HOWARD E. HECKLER, HAVE LAID OUT UPON MY LAND, SITUATE IN
 THE BOROUGH OF HATFIELD, COUNTY OF MONTGOMERY,
 COMMONWEALTH OF PENNSYLVANIA, CERTAIN LOTS ACCORDING TO
 THE ACCOMPANYING PLAN WHICH IS INTENDED TO BE RECORDED,
 WITNESS MY HAND AND SEAL, THIS _____ DAY OF
 _____ 20____.

HOWARD E. HECKLER

APPROVAL OF BOROUGH
 APPROVED BY THE BOROUGH COUNCIL OF THE BOROUGH OF
 HATFIELD THIS _____ DAY OF _____ 20____

PRESIDENT _____
 MANAGER/ SECRETARY _____

REVIEWED BY BOROUGH ENGINEER
 REVIEWED BY THE BOROUGH ENGINEER ON THIS DAY OF _____ 20____

BOROUGH ENGINEER _____

APPROVAL OF THE BOROUGH OF HATFIELD PLANNING COMMISSION
 APPROVED BY THE BOROUGH OF HATFIELD PLANNING COMMISSION
 ON THIS _____ DAY OF _____ 20____

CHAIRMAN _____

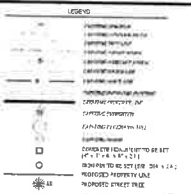
RECORDED IN THE OFFICE FOR THE RECORDS OF DEEDS IN AID
 FOR THE COUNTY OF MONTGOMERY, AT NORRISTOWN, PA., IN PLAN
 BOOK _____ PAGE No. _____ ON _____

Montgomery County Planning Commission
 MICPC No. _____

PROCESSED AND REVIEWED. A report has
 been prepared by the Montgomery County Planning
 Commission in accordance with the Municipalities
 Planning Code.

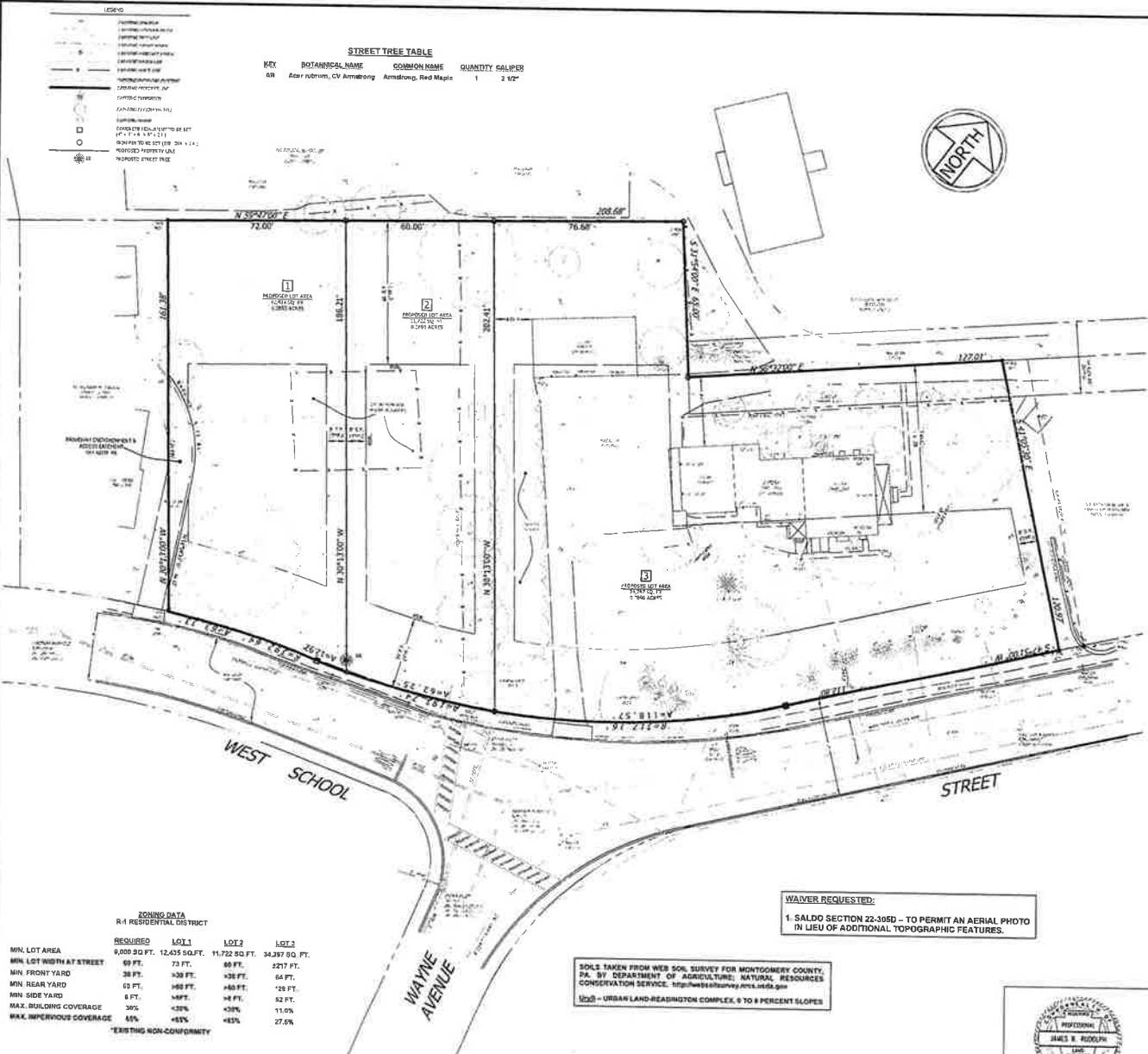
Certified this Date _____

For the Director _____



STREET TREE TABLE

KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SHAPE
AR	Aster rubrum, CV Armstrong	Armstrong Red Maple	1	2 1/2"



ZONING DATA
 R-4 RESIDENTIAL DISTRICT

	REQUIRED	LOT 1	LOT 2	LOT 3
MIN. LOT AREA	9,000 SQ. FT.	12,435 SQ. FT.	11,722 SQ. FT.	34,397 SQ. FT.
MIN. LOT WIDTH AT STREET	90 FT.	72 FT.	80 FT.	227 FT.
MIN. FRONT YARD	38 FT.	30 FT.	38 FT.	64 FT.
MIN. REAR YARD	63 FT.	168 FT.	168 FT.	75 FT.
MIN. SIDE YARD	6 FT.	N/A	4 FT.	62 FT.
MAX. BUILDING COVERAGE	30%	<35%	<35%	11.0%
MAX. IMPERVIOUS COVERAGE	55%	<65%	<65%	27.6%

*EXISTING NON-COMPLIANCE

SOILS TAKEN FROM WEB SOIL SURVEY FOR MONTGOMERY COUNTY,
 PA. BY DEPARTMENT OF AGRICULTURE; NATURAL RESOURCES
 CONSERVATION SERVICE. <http://websoilsurvey.nrcs.usda.gov>

U2a2 - URBAN LAND-READINGTON COMPLEX, 8 TO 8 PERCENT SLOPES

WAIVER REQUESTED:
 1. SALDO SECTION 22-305D - TO PERMIT AN AERIAL PHOTO
 IN LIEU OF ADDITIONAL TOPOGRAPHIC FEATURES.

HERBERT CERTIFIES THAT THIS PLAN REPRESENTS A SURVEY
 MADE BY ME OR UNDER MY SUPERVISION, THAT
 MONUMENTS SHOWN HEREON EXIST AT LOCATIONS, AND
 THAT THE DIMENSIONS AND GEOMETRIC DETAILS ARE OF
 APPROPRIATE ACCURACY.

JAMES K. HUBBARD, P.L.S. DATE _____



LOCATION MAP 1"=1000'

- NOTES:
- OWNER OF RECORD AND APPLICANT: HOWARD E. HECKLER, 27 WEST SCHOOL STREET, HATFIELD, PA. 19024. PARCELS 95-00-0100-00-B, TAYLOR BLOCK 2, UNIT 7. DEED BOOK 3368, PAGE 1904
 - BOUNDARY AND TOPOGRAPHICAL INFORMATION TAKEN FROM GEORGE SANDER HECKLER AND MARY ALICE HECKLER BY HERBERT H. METZ INC., REGISTERED ENGINEER, LANSDALE, PA. DATED JULY 15, 1989 AND A SURVEY PERFORMED BY THIS OFFICE IN AID SET. SOILS DATA U2a2 - URBAN LAND-READINGTON COMPLEX, 8 TO 8 PERCENT SLOPES
 - FLOODPLAIN ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 2% ANNUAL CHANCE FLOODPLAIN PER FEMA FORM MAP NUMBER 40780C02, FRANK, VA OF ALL EFFECTIVE DATE OCTOBER 14, 1994, REVISED MARCH 2, 2014.
 - CERTAIN 30-FOOT LANDSCAPE-OF-WAY AS SHOWN ON THE FOLLOWING DOCUMENTS/PLANS:
 - PLAN OF PROPERTY SURVEYED FOR GEORGE S. HECKLER BY HERBERT H. METZ, REGISTERED ENGINEER, LANSDALE, PA. DATED JANUARY 26, 1949.
 - PLAN OF MARY ALICE HECKLER BY HERBERT H. METZ, REGISTERED ENGINEER, LANSDALE, PA. DATED OCTOBER 17, 1949 LAST REVISED OCTOBER 22, 1953.
 - PLAN OF PROPERTY SURVEYED FOR GEORGE SANDER HECKLER AND MARY ALICE HECKLER BY HERBERT H. METZ, INC. DATED JULY 15, 1989.
 - REFERENCE TO A CERTAIN LANE IN A DEED RECORDED AT THE MONTGOMERY COUNTY RECORDER OF DEEDS OFFICE IN DEED BOOK 3364, PAGE 1984.
 - A FINAL SURVEY PLAN SUB-DIVIDING FOR CONVEYANCE, PART OF E.B. LANDENGLASER SCHOOL TRACT, NORTH PENN. SCHOOL DISTRICT PROPERTY, BY HERBERT H. METZ, INC. DATED SEPTEMBER 24, 1951.
 - DRIVEWAY ENCROACHMENT AS SHOWN ON A PLAN OF PROPERTY SURVEYED FOR GEORGE SANDER HECKLER AND MARY ALICE HECKLER BY HERBERT H. METZ, INC., LANSDALE, PA. DATED JULY 15, 1989, ALSO REFERENCED ENCROACHMENT AS A LINE PASSING THROUGH A STONE DRIVEWAY IN THE PARCEL, DEED RECORDED IN DEED BOOK 3368, PAGE 1984 AT THE MONTGOMERY COUNTY COURTHOUSE, NORRISTOWN, PA. DEED RECORDING DATE AUGUST 7, 1993.
 - NO CONSTRUCTION IS PROHIBITED ON THE PROPERTY.
 - NO STEEP SLOPE AREAS EXIST ON THE PROPERTY.
 - NO WELLS EXIST ON THE PROPERTY.
 - NO OPEN SPACES AREAL ARE PROVIDED FOR THIS PROJECT.
 - THE IMPROVEMENTS REQUIRED, I.E. LANDSCAPING, EROSION CONTROL, TREE REMOVAL AND STORMWATER MANAGEMENT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER OF LOTS 1 & 2. THE STORMWATER MANAGEMENT SYSTEM DESIGN SHALL BE COMPLETED RELATIVE TO THE ACTUAL HOUSE FOOTPRINT SHOWN ON THE BUILDING PERMIT INCLUDING SOIL TESTING, AS REQUIRED BY CRURGANCE. THE DEVELOPER SHALL OBTAIN ALL APPROPRIATE PERMITS AS REQUIRED BY THE BOROUGH AND MONTGOMERY COUNTY CONSERVATION DISTRICT.
 - IRON PINS TO BE SET AT ALL PROPERTY CORNERS PRIOR TO RECORDING OF PLAN.
 - LOTS 1 & 2 TO BE SERVED BY PUBLIC WATER AND SEWER.
 - PUBLIC WATER TO BE PROVIDED BY THE NORTH PENN. WATER AUTHORITY.
 - PUBLIC SEWER TO BE PROVIDED BY HATFIELD BOROUGH AND THE HATFIELD TOWNSHIP MUNICIPAL AUTHORITY.
 - TOTAL TRACT AREA = 58,564 SQ. FT.



NO.	DESCRIPTION	DATE
1.	WORK ON ENCLOSURE EASEMENT	10-20-20
2.	SEWER	8-18-19
3.	SOILS	8-18-19
4.	SOILS	8-18-19

PLAN OF SUBDIVISION
 PREPARED FOR
HOWARD E. HECKLER
 LAND SURVEYOR
 BOROUGH OF HATFIELD, MONTGOMERY CO., PA.

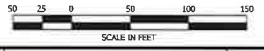
PROJECT NUMBER: **JAW**
 PROJECT NUMBER: **M7871**
 PREVIOUS NUMBER: _____

SCALE: **1"=20'**
 PREPARED BY: **Metz Engineers**
 1215 9TH STREET, SUITE 100, HATFIELD, PA. 19024
 (610) 955-1111

DATE: _____



LOCATION MAP 1"=1000'



NO.	REVISIONS	DATE



JAMES E. KUCUPH P.E.
SU-020646

AERIAL PHOTO PLAN
PREPARED FOR
HOWARD E. HECKLER
LAND SURVEYOR
BOROUGH OF MATTHEW, MONTGOMERY CO., PA.

PROJECT NUMBER
M7871



410 Centre Ave., PO Box 947, Leesport, PA 19440-0928
Civil Engineers & Land Surveyors
(610) 855-3111

SCALE
1"=50'

SHEET NUMBER
2 of 2