

HATFIELD BOROUGH PLANNING COMMISSION

FEBRUARY 27, 2023



LARRY BURNS, MEMBER

KENNETH V. FARRALL, MEMBER

JOHN KROESSER, MEMBER

MICHELLE KROESSER, MEMBER

LAWRENCE G. STEVENS, MEMBER

JAIME E. SNYDER, BOROUGH MANAGER



Borough of Hatfield

Montgomery County, Pennsylvania

PLANNING COMMISSION February 27, 2023 7:00PM AGENDA

Call to Order / Roll Call

Larry Burns Kenneth Farrall John Kroesser
Michelle Kroesser Lawrence G. Stevens

NOMINATION AND ELECTION OF PLANNING COMMISSION CHAIR

Do we have a Nomination for Planning Commission Chair?

State the name of the person being nominated.

Any Other Nominations? If none, close the nominations.

All those in favor say "Aye" ___ all opposed say "Nay" ___

NOMINATION AND ELECTION OF PLANNING COMMISSION VICE-CHAIR

Do we have a Nomination for Planning Commission Vice-Chair?

State the name of the person being nominated.

Any Other Nominations? If none, close the nominations.

All those in favor say "Aye" ___ all opposed say "Nay" ___

1. Motion to Approve the February 27, 2023 Agenda
2. Motion to Approve the December 12, 2022 Meeting Minutes
3. Didden Greenhouses Preliminary Land Development Presentation
4. Old Business:
 - A. Edinburgh Square Update
 - B. Bennetts Court Update
 - C. 43 Roosevelt Update
 - D. 200 N. Main Street, Alliance Housing Development, Update
 - E. 23 N. Main Street, Arbor Grove Development, Update

401 S. Main Street
P.O. Box 190
Hatfield, PA 19440

Phone:
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Email:
admin@
hatfieldborough.com

Website:
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5. New Business:

A. Zoning Hearing Board Meeting Announcement 14 N. Market Street

6. Action Items:

7. Next Meeting Monday, April 3, 2023, 7:00PM

8. Motion to Adjourn

**2. Motion to Approve the
December 12, 2022
Meeting Minutes**

PLANNING COMMISSION

December 12, 2022 7:00PM

Meeting Minutes

This Meeting was Recorded

ROLL CALL

- (X) Kenneth V. Farrall, Chair
- () Lawrence G. Stevens, Vice Chair
- (X) John Kroesser
- (X) Michelle Kroesser
- () Larry Burns

The record shows that three members of the Planning Commission were present along with Borough Manager Jaime E. Snyder and Borough Engineer Chad Camburn.

1. APPROVAL OF THE AGENDA:

Motion to Approve the December 12, 2022 Planning Commission Meeting Agenda

Motion: A motion was made by John Kroesser to Approve the Agenda of December 12, 2022 Planning Commission Meeting Agenda. The motion was seconded by Michelle Kroesser and unanimously approved with a vote of 3-0.

2. APPROVAL OF THE MINUTES:

Motion to Approve the Minutes of the October 24, 2022 Planning Commission Meeting.

Motion: A motion was made by John Kroesser to Approve the October 24, 2022 Meeting Minutes. The motion was seconded by Michelle Kroesser and unanimously approved with a vote of 3-0.

3. 23 North Main Street Arbor Grove Development Sketch Plan Presentation

Kenneth Farrall explained that there will be a presentation tonight from the developer for 23 North Main Street and there will be a change for anyone in the audience to comment after he presents. Mike Amoroso introduced himself and presented his plans to the Planning Commission. Mr. Amoroso reviewed with planning commission the comments from the borough engineer and asked for some clarification in regards to the property being land locked. Chad Camburn the Borough Engineer explained that right now the plans show two separate parcels and the property in the back is land locked. His understanding that they are going to be consolidated but they are not currently consolidated so they property is land locked. The design

is 1st floor of the building will be commercial and a for the residents and residential apartments on the remaining floors. The building is proposed at 4 stories high. Mr. Farrall stated his concerns with the plan which included the number of units and the height of the building and the amount of traffic that is going to generate. The Planning Commission and the developer disused all the of the concerns with the project. The resident from 19 East Broad Street asked how many parking spots will be at the location, Mr. Amoroso replied that there will be 63 parking spots. She also how much traffic this will add to the area and as well if they are going to have pets allowed at this complex. Elenore Ruch from Butler Ave and stated that her concern is the traffic that is going to come from the complex. Jane Picardi stated that her concern is the height of the building is one of her main concerns with the development. Mr. Amoroso thanked everyone for their input and time on the project and will take this all-in consideration.

4. Old Business:

A. Edinburgh Square Update

Manager Snyder stated that she is working on the escrow release and the engineer is working on site plans and punch list items.

B. 43 Roosevelt Update

Manager Snyder did not have an update and has not heard from the developer but will reach out them.

C. 200 North Main Street, Alliance Housing Development Update

Manager Snyder stated that she does not have an updated and they are working on receiving their tax credits.

D. Bennetts Court Update

Manager Snyder stated they are working on tying up some lose ends on the developer's agreement.

4. New Business:

A. 2023 Meeting Dates

Kenneth Farrall presented the meeting dates that are proposed for 2023 and asked if anyone had any conflicts with them.

5. Action Items:

A. Motion to Approve the 2023 Planning Commission Meeting Dates

Motion:

A motion was made by John Kroesser to approve the 2023 Planning Commission Meeting Dates. The Motion seconded by Michelle Kroesser and unanimously approved with a vote of 3-0.

6. Next Meeting Tuesday December 27, 2022 7:00 PM (January Meeting)

7. Motion to Adjourn

Motion:

A motion was made by John Kroesser to adjourn the December 12, 2022 Planning Commission Meeting. The Motion seconded by Michelle Kroesser and unanimously approved with a vote of 3-0.

Respectfully Submitted,
Kathryn Vlahos
Assistant to the Manager

**3. Didden Greenhouses
Preliminary Land Development
Presentation**

**Montgomery County
Planning Commission
Review Letter**

**MONTGOMERY COUNTY
BOARD OF COMMISSIONERS**

KENNETH E. LAWRENCE, JR., CHAIR
JAMILA H. WINDER, VICE CHAIR
JOSEPH C. GALE, COMMISSIONER



**MONTGOMERY COUNTY
PLANNING COMMISSION**

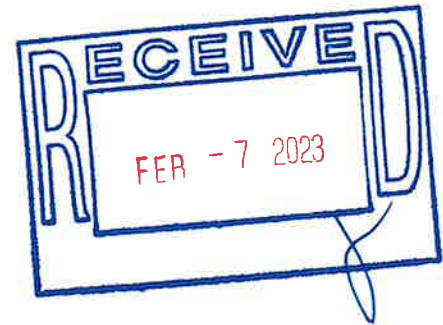
MONTGOMERY COUNTY COURTHOUSE • PO Box 311
NORRISTOWN, PA 19404-0311
610-278-3722
FAX: 610-278-3722 • FAX: 610-278-3941
WWW.MONTCOPA.ORG

SCOTT FRANCE, AICP
EXECUTIVE DIRECTOR

February 7, 2023

Mr. Scott Hutt, Assistant Township Manager
Hatfield Township
1950 School Road
Hatfield, Pennsylvania 19440

Re: MCPC # 22-0302-001
Proposal Name: Didden Greenhouses
Situates: Vine Street (east), Butler Avenue (south)
Hatfield Township



Dear Mr. Hutt:

We have reviewed the above-referenced land development plan in accordance with Section 502 of Act 247, "The Pennsylvania Municipalities Planning Code," as you requested on December 14, 2022. We forward this letter as a report of our review.

BACKGROUND

Our agency has received an application, which pertains to proposed improvements on a 18.01 acre, R-4 Mixed Use Residential District zoned tract of land (County Parcel ID 09 00 00313 00 2) located on West Vine Street south of Cowpath Road. The subject properties situated within two municipalities- 5.62 acres lie within Hatfield Township, with the remainder in Hatfield Borough. George Didden Greenhouses, Inc., the applicant, has commissioned the preparation of a set of plans that depict the construction of a series of greenhouse structures on the subject property. Per the plans, the submittal also involves the planned construction of stormwater management facilities and off-street parking, in accordance with municipal requirements. Other, ancillary improvements are delineated on the plan, involving the installation of site landscaping. New construction on the site shall total 109,499 square feet.

Information placed on the plan by the applicant's engineer indicates that public water facilities and public sewer service are available to the applicant's parcel.

We report that a series of variances- "with conditions"- have been granted by the Hatfield Township Zoning Hearing Board from township RA-1 District use regulations (§282-24), for the expansion of the applicant's wholesale agricultural facility on the subject tract; building coverage standards (§282-27.A) to allow proposed structures to exceed maximum requirements; and impervious coverage standards (§282-27.B.2) to permit the development of the site to exceed maximum requirements.

It is also indicated on the plan that relief from specified requirements in the Subdivision and Land Development Ordinance will be sought, related to landscaping requirements (§250-38) and minimum planting guidelines.



COMPREHENSIVE PLAN COMPLIANCE

The submission is generally consistent with goals and objectives established in the County Comprehensive Plan, *Montco 2040: A Shared Vision*. Montgomery County's comprehensive plan is designed around three interrelated themes- Connected Communities, Sustainable Places, and a Vibrant Economy. Vibrant Economy focuses on many issues that include promoting focused development and the attraction and retention of businesses.

As mandated by the Pennsylvania Municipalities Planning Code, our Plan divides the county into broad land use categories that reflect the desired character, level of development, and access to utilities.

With respect to the applicant's tract, it lies within a part of Montgomery County which is designated as a "developable area". According to the Plan, These properties may see future development, and much of the new development in the county is expected to go on these properties.

The Future Land Use Component of *Montco 2040* shows that the applicant's property is situated in a locale classified as Community Mixed Use and Service. Per the Comprehensive Plan, Community Mixed Use and Service Areas are characterized as locations with local community focal points that typically have a significant retail or institutional element with surrounding residential uses. Secondary uses might include light industrial uses, and medium density residential.

RECOMMENDATION

The Montgomery County Planning Commission (MCPC) supports this proposal; however, in the course of our review we have identified the following issues that the applicant and municipality may wish to consider prior to final approval of the plan.

REVIEW COMMENTS

SUBDIVISION AND LAND DEVELOPMENT ORDINANCE COMPLIANCE

A. Tree replacement (§250-38.E)

Regulations contained in the Subdivision and Land Development Ordinance stipulate that *any tree having a diameter of eight inches or more measured at breast height which is to be removed as a result of the development activity and cannot be relocated shall be replaced with a new tree of like kind having a diameter of 1 1/2 inches latest edition of American Standard for Nursery Stock.*

ZONING ORDINANCE COMPLIANCE

A. Required off-street parking facilities (§282-186.B)

The submitted plan delineates a proposed parking area designed to accommodate 9 vehicles. We note that it is unclear how the applicant's plan shall meet municipal off-street parking requirements since the proposed use is not listed or accounted for under §282-186 of the Zoning Ordinance. We note, however, that §282-186.B.(14) of the Zoning Ordinance states that *for combination uses and uses not specifically named above the Zoning Officer shall have sole discretion as to the category most nearly equivalent to the proposed use and the determination as to the additional spaces that may be required over and above that category.*

B. Required off-street loading and unloading facilities (§282-190)

The applicant's engineer should confirm that the plans satisfy requirements governing load and unloading facilities on the site. As stated in the Zoning Ordinance, *in addition to required off-street parking spaces,*

every use permitted in this chapter shall be provided with off-street loading and unloading space, which space, except for single-family detached, single-family semidetached and townhouse dwellings, shall be completely separate and distinct from the required off-street parking spaces and shall be appropriate to the use in every respect and on the same lot therewith.

DESIGN ISSUES

A. Liberty Bell Trail Connection West Vine Street/Butler Avenue

We recommend that the applicant review with municipal officials planned improvements at the intersection of West Vine and Butler Streets. While it is observed that a crosswalk is proposed at this location, it is suggested that thought should be given to what, if any, other enhancements could be added to facilitate trail usage and ensure safety. We note that the Liberty Bell Trail Final Feasibility Study Report mentions the "suggested addition of walking path/parking area at Butler Ave and W Vine St" as a potential access location.

MISCELLANEOUS

A. Assignment of MCPC Number

When an application is forwarded to the County for review, a member of our staff is required to assign a unique, nine-digit identifier to the plan. This identifier is referred to as an MCPC number. Please note that the number "22-0302-001" has been set aside for this submission. If any plans are brought to this office for recording, this MCPC number should appear on the applicable sheets in the box reserved for the seal of this agency.

CONCLUSION

We reiterate that the MCPC generally supports this application; however, it is recommended that township officials take into account the issues raised in this letter.

Please note that the review comments and recommendations contained in this report are advisory to the municipality, and final disposition for the approval of any proposal will be made by the municipality.

Should the governing body approve a final plat of this proposal, the applicant must present the plan to our office for seal and signature prior to recording with the Recorder of Deeds office. A paper copy bearing the municipal seal and signature of approval must be supplied for our files.

Sincerely,



Kevin Chavous, ASLA, LEED AP, SITES AP, WELL AP, LFA, CNU-A, AICP CUD
Design Planner
610.278.3731 e-mail kchavous@montcopa.org

- c: Aaron Bibro, Township Manager
- Don Delemater, Director of Building and Zoning
- Jaime E. Snyder, Borough Manager, Hatfield Borough
- George Didden Greenhouses, Inc., Applicant

Mr. Scott Hutt

-4-

February 7, 2023

Schlosser & Clauss Consulting Engineers, Inc., Applicant's Engineer

Attachment: Aerial Photo



Didden Greenhouses

MCPC#220482001

Montgomery
County
Planning
Commission

Executive Order 2015-01-01
10/15/2015
www.montgomerycountypa.gov
planningcommission



Hatfield Borough Review Letters

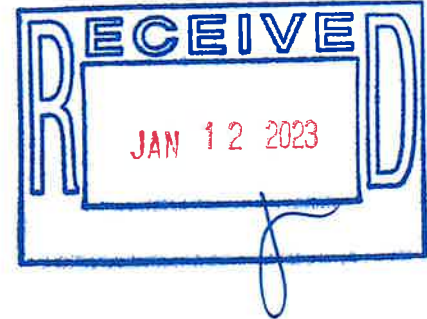


January 12, 2023

Hatfield Borough
401 South Main Street
P.O. Box 190
Hatfield, PA 19440

Attention: Ms. Jaime E. Snyder
Borough Manager

RE: Didden Greenhouses Land Development
Review #1
Bursich Job No.: HAT-01/228330



Dear Jaime:

As requested, Bursich Associates, Inc. has reviewed the submitted documents for the Didden Greenhouses Land Development project. The submission consisted of the following information prepared by Schlosser & Clauss Consulting Engineers, Inc.:

- Plans titled Land Development Plans – Didden Greenhouses, consisting of sheets 1 through 12 of 12, dated December 8, 2022 with no revision date
- Flood Area Analysis for Didden Greenhouses, dated November 15, 2022 with no revision date
- Stormwater Management Report for Didden Greenhouses, dated December 10, 2022 with no revision date
- Wetland Report, prepared by Nova Consultants Ltd., dated November 2020 with no revision date

The site is located along the eastern side of W. Vine Street and western side of the SEPTA railroad tracks in Hatfield Borough and Hatfield Township. The property is in the Borough's I-Industrial and R-2 Residential Zoning Districts and consists primarily of three greenhouse buildings, gravel parking lot, woodlands, grass areas, waterway, and a gravel driveway that accesses W. Vine Street across from Butler Ave., just south of the railroad crossing. Residential properties adjoin the property to the west and south, the railroad adjoins the property to the east, and the municipal boundary bisects the property northeast to southwest.

The application proposes to construct a 109,500 sf greenhouse and parking lot mostly in the Township, and stormwater management controls and an improved driveway within the Borough. The application also proposes to construct an extension to the Liberty Bell Trail through the property.

ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS



2129 E. High Street | Pottstown, PA 19464
N 40° 14' 40.2" W 075° 36' 09.6"

610.323.4040
www.bursich.com

Considering the majority of the improvements are located within Hatfield Township, our review focused primarily on Zoning, the Flood Area Analysis, stormwater management, erosion and sedimentation controls, and the portion of the driveway and trail within the Borough.

We offer the following for your consideration:

ZONING ORDINANCE COMMENTS

1. §27-1002 – The plans appear to eliminate a portion of the existing parking lot near W. Vine Street for construction of a new extension to the Liberty Bell Trail. The plans shall clarify the proposed demolition and improvements in this area, and provide information on the required and provided parking spaces for this portion of the site.
2. §27-1304 – The standards of the R-2 zoning district shall be added to the Record Plan, and the existing use shall be noted as exiting non-conforming. The Proposed conditions shall be added to the Hatfield Borough Zoning Info. on the Record Plan.
3. §27-2002.2 – The following comments pertain to the Flood Area Analysis:
 - A. Plans and calculations shall be provided to clarify how the stormwater flow rate was determined.
 - B. The hydraulic analysis must model the existing 30-inch pipe with the stream to determine the effect of the restriction on the upstream high-water elevation. The stand-alone pipe calculation shows the headwater elevation higher than the upstream floodplain elevation and must be included as tailwater. The plans also illustrate a new 18-inch pipe to be connected upstream of the 30-inch pipe, which would further restrict the flow and raise the flood water elevation.
 - C. A key map indicating the location of the photos in the report shall be provided.
4. §27-2013.B, F. & K – Placement of fill, new driveways, and stormwater basins are prohibited within the 100-year floodplain. The new driveway and associated fill material, and a portion of the fill material for the rain garden, are proposed within the calculated floodplain. Depending on the outcome of the final Flood Area Analysis, additional improvements may also be found to be within the floodplain. The floodplain must be added to the plans with the proposed improvements.
5. §27-2034 – A copy of all applications and plans for any proposed construction or development in any Floodplain Conservation District shall be submitted by the Floodplain Administrator to the County Conservation District for review and comment prior to the issuance of a permit.
6. §27-2302.3 – The limits of the Riparian Conservation District shall be added to the plans.
7. §27-2304.A, D. & J – Clearing of existing vegetation, new driveways, and stormwater basins are prohibited within the Riparian Conservation District. The Riparian Conservation District must be added to the plans with the proposed improvements.

SUBDIVISION AND LAND DEVELOPMENT ORDINANCE

1. §22-305 & §22-307 – The plans shall be revised to include or clarify the following information:
 - A. The limits of the proposed driveway
 - B. Enlarged view of the driveway improvements, parking lot near W. Vine Street, and ADA-compliant trail and road crossing at W. Vine Street
 - C. Labels on all of the proposed improvements
 - D. Zoning Boundaries and labels
 - E. Source of information for the existing 20' Wide Sanitary Easement and who the easement is in favor of
 - F. Yard setback lines
 - G. Width of the proposed driveway and widths, materials, and details of the proposed trail
 - H. Property / Right-of-way monuments to be set
 - I. Certifications for Hatfield Borough must be included on the Record Plan.
 - J. A Drawing Index shall be added to sheet 1 and indicate which plans are to be recorded.
 - K. The features to be demolished and cleared must be identified on the plans.
 - L. Utilities to the new buildings along with a note on the record plan noting the ownership of the proposed utilities
2. §22-410 – A clear sight triangle shall be added to the plans, and all existing and proposed features within the sight triangle shall be labeled. We defer to the Borough's Traffic Engineer for review of the driveway intersection and trail crossing.
3. §22-423 – A note shall be added to the Record Plan containing the language of this section for topsoil preservation.
4. §22-428 – Compliance with Engineering & Construction Standards:
 - A. §108.3.B – A note shall be added to the Record Plan stating that all proposed utility services will be installed underground.
5. §22-502.B – A cost estimate to establish financial security for the completion of the proposed improvements within the Borough shall be provided.

STORMWATER COMMENTS

There is a considerable amount of information in the Stormwater Management Report that is not consistent with the plans. The following are general comments related to information that must be clarified or revised:

1. A Pre-development Watershed Plan shall be provided.
2. The total Pre-development and Post-development drainage areas must be the same.
3. Time of Concentration paths and calculations shall be provided for all Tcs greater than 5 minutes. The Tc used in the Post-development condition shall represent the majority of the runoff in the watershed and should not be greater than the pre-development condition.
4. The Grading Plan shall illustrate, through use of flow arrows or labels, the intention for the stormwater along the driveway to be conveyed to the Rain Garden.

5. The calculations route the Rain Garden to the Chamber, although the systems are not connected.
6. Rain Garden:
 - A. The Rain Garden must be labeled on the plans.
 - B. The design information for the Rain Garden does not match the plans and details.
 - C. The storage area below the outlet orifice and pipe will likely be consistently saturated and cannot be counted for available storage volume.
 - D. If the water will enter the grate through the top, then the restricting orifice would be bypassed based on the design information.
 - E. The weir in the outlet structure must be included in the routing.
 - F. The effects of tailwater from the downstream basin must be considered.
7. Capture / Reuse Chamber:
 - A. The capture / reuse chamber shall be labeled on the plans.
 - B. The information in the design calculations shall be consistent with the plans.
 - C. If the chamber is designed with vertical walls, the "contour area" information in the Stage/Storage table should be the same for all elevations.
 - D. The results of the routing do not appear to be from the design information provided. For example, the input information would result in unimpeded water discharge at the 323 outfall pipe elevation rather than the routing results showing zero discharge until the water level reaches 328.
 - E. Details shall be added to the plans.
 - F. The intent of the inlet box, and information on the inlet and accompanying pipes, shall be clarified.
 - G. The effects of tailwater from the downstream basin must be considered.
 - H. Information and details on how the reuse chamber will be used must be provided, including whether there will be times when water in the chamber will be discharged on-site rather than reused, how the discharge system will operate, etc.
8. Detention Basin:
 - A. The Detention Basin must be labeled on the plans.
 - B. The design information for the basin does not match the plans and details.
 - C. The plans shall clarify if the forebay will be constructed within the basin or if the Rain Garden is the forebay. If it is to be constructed within the basin, then details shall be added to the plans.
9. Additional information shall be provided to determine if any runoff will be directed to the front of the site rather than through the 30-inch pipe under the driveway and railroad.
10. The new manhole to be connected to the existing 30-inch pipe in the floodplain shall be designed with anti-float measures.
11. The condition of the existing on-site inlet box and 12-inch corrugated metal pipe from W. Vine Street through the site shall be investigated, and replaced if necessary.
12. §26-122.1.B.(3) – A PaDEP NPDES construction activities permit is required for regulated earth disturbance activities.

13. §26-132.2.B(3)f – An access easement around all stormwater management facilities is required that would provide ingress to and egress from a public right-of-way. The size of the easement shall be commensurate with the maintenance and access requirements determined in the design of the BMP. General Note 11 on the Record Plan shall provide rights to Hatfield Borough.
14. §26-132.2.B(3)i – The following signature block for the Design Engineer shall be added: “I, (Design Engineer), on this date (date of signature), hereby certify that the SWM Site Plan meets all design standards and criteria of The Neshaminy Creek Watershed Act 167 Stormwater Management Ordinance or Plan.”
15. §26-132.2.B(3)i – A statement shall be added to the plan, signed by the applicant, acknowledging that any revision to the approved SWM site plan must be approved by the Borough of Hatfield and that a revised E&S plan must be submitted to the Conservation District.
16. §26-132.2.B(5) – The SWM Site Plan shall include an Operations & Maintenance (O&M) Plan for all existing and proposed physical stormwater management facilities. This plan shall address long-term ownership and responsibilities for O&M.
17. §26-161 - For land developments, the applicant shall provide financial security acceptable to the Borough of Hatfield for the timely installation and proper construction of all stormwater management (SWM) facilities.
18. §26-164 – A Stormwater Operation and Maintenance Agreement must be provided to the Borough Solicitor’s satisfaction.
19. Calculations shall be provided for the basin emergency spillway.
20. The stormwater basin is proposed to be located within 20 feet of residential properties. The Borough should consider if it wishes fencing to be installed around the basin.

EROSION AND SEDIMENTATION CONTROL COMMENTS

While we defer to the Montgomery County Conservation District for review of Erosion and Sedimentation Controls, the following are general comments based on our review of the project plans:

1. The fill slopes along the driveway, Rain Garden, and Detention Basin must be immediately stabilized with matting. The matting shall be shown on the E&S plan.
2. There are two Section 102.4 notes on sheet 10 that state no Riparian Buffers exist on the site. These notes must be revised or removed.
3. A note shall be added to sheets 5 and 10 stating that W. Vine Street must be swept at the end of each working day or more frequently as needed to immediately remove any dirt or mud from the street. Dirt and mud shall not be washed into the storm sewer.

SANITARY SEWER COMMENTS

1. Since the proposed improvements will be connected directly to the HTMA sewer main, we defer to the HTMA’s engineer for the sanitary review.

GENERAL COMMENTS

1. The plans illustrate a proposed extension to the Liberty Bell Trail through the property along the new driveway. We recommend a physical separation between the trail and driveway for safety. A cross section of the driveway / trail shall be added to the plans.
2. The location of the new Stop Sign shall be shown on the plans.
3. A construction cost estimate of the improvements within the Borough shall be provided for review to establish financial security.
4. Reviews, approvals, permits required include, but are not limited to, the following:
 - a. Borough Zoning Officer
 - b. Borough Traffic Engineer
 - c. Borough Electric Engineer
 - d. Borough Fire Marshal
 - e. Emergency Service providers
 - f. Montgomery County Planning Commission
 - g. Montgomery County Conservation District / PaDEP for NPDES permit and E&S Controls
 - h. Hatfield Township
5. Additional comments may be generated from subsequent submissions as a result of the plan and design revisions and additional information to be provided.

The comments are made with the understanding that all existing features and topography are accurately represented on the plans, and that all designs, calculations and surveys are accurate and have been prepared in accordance with current laws, regulations, and currently accepted Professional Land Surveying and Engineering practices.

If you have any questions or comments with this review, please do not hesitate to contact me at [REDACTED] [REDACTED] chad.camburn@bursich.com.

Sincerely,



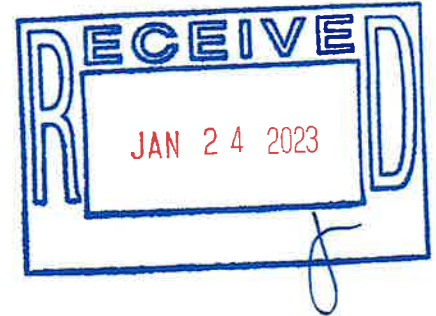
Chad E. Camburn, P.E.
Director of Municipal Services
Bursich Associates, Inc.

pc: Kate Harper, Borough Solicitor (*via email*)
Bob Heil, Hatfield Borough Zoning Officer (*via email*)
Schlosser & Clauss, Applicant's Engineer (*via email; scce_inc@comcast.net*)
Scott Hutt, Hatfield Township Assistant Manager (*via email*)
Bryan McAdam, Hatfield Township Engineer (*via email*)



Borough of Hatfield

Montgomery County, Pennsylvania



January 24, 2023

Borough of Hatfield
Ms Jaime Snyder
401 S Mai St
Hatfield PA 19440

Didden Greenhouses

Ms. Snyder,

A preliminary Zoning review of the submitted Land Development plan for the above referenced project has been completed and resulted in the following comments.

The site is largely located within Hatfield Township however access to the property is gained via West Vine Steet in the Borough and extends through an R-2 Residential District and an I-Industrial District.

The submitted plans only refer to the Borough's Industrial District and do not address or recognize the R-2 Residential District requirements. The access driveway enters onto West Vine Street through this District.

A clear delineation of the existing driveway and intended improvements need to be shown in greater detail and include sight triangles at intersecting roads.

Although the project is largely located in Hatfield Township, a small portion of the proposed greenhouses do extend over Municipal boundaries and are physically within Hatfield Borough jurisdiction. An acknowledgement or agreement should transpire between the Township and Borough releasing or granting responsibility of UCC permitting and enforcement responsibilities for these structures else the project shall be subject to permitting in both Municipalities.

Sincerely,

Robert J. Heil
Code & Zoning Enforcement

401 S. Main Street
P.O. Box 190
Hatfield, PA 19440

Phone:
215-855-0781

Fax:
215-855-2075

Email:
admin@
hatfieldborough.com

Website:
www.hatfieldborough.com

Code Inspections, Inc.

603 Horsham Road
Horsham, PA 19044

A Full-Service Agency Providing
Professional Inspection Services

Phone: 215-672-9400
Fax: 215-672-9736


January 24, 2023

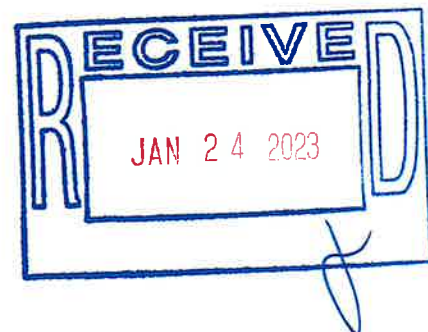
Re: Application 2022-03 – Didden Greenhouses Land Development – Fire Marshal's review

To Whom It May Concern:

The review of the site plan referenced above for compliance with the International Fire Code 2012 as amended and adopted by the Borough of Hatfield has been completed and no fire safety concerns are noted at this time. The proposed structures are in Hatfield Township and site access for fire department apparatus shall comply with the requirements of the 2012 International Fire Code as adopted by Hatfield Borough and comply with the requirements of Hatfield Township Fire Marshal's Office for the proposed structures.

Yours in safety,

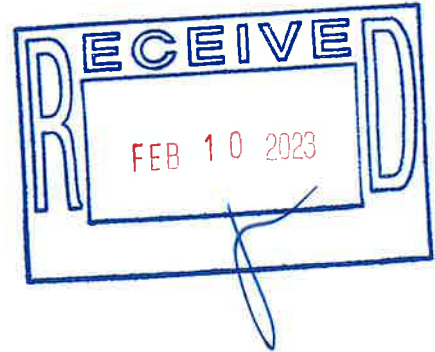

Daniel Azeff
Fire Marshal
Borough of Hatfield



Hatfield Township Review Letters

February 10, 2023

Mr. Scott A. Hutt
Assistant Township Manager
Hatfield Township
1950 School Road
Hatfield, PA 19440



**RE: Traffic Engineering Review #1
Project P23-01**
Didden Greenhouses Development
57 W. Vine Street
Hatfield Township, Montgomery County, PA
McMahon Project No. 822C98.1A

Dear Scott:

Per your request, McMahon, a Bowman Company has completed a traffic engineering review of the proposed development to be located on a property bounded by Vine Street and the existing freight rail line in Hatfield Township, Montgomery County, PA. It should be noted that the proposed property is also partially located in the adjacent Borough of Hatfield. It is our understanding that the proposed development will consist of 107,474 square-feet of new greenhouse space with an associated parking and loading area. Access to the development will be provided via an existing unsignalized driveway located along W. Vine Street directly adjacent to Butler Street. It is also proposed to construct an extension of the existing Liberty Bell Trail parallel to the rail line.

The following documents were reviewed and/or referenced in preparation of our traffic review:

- Land Development Plans – Didden Greenhouses, prepared by Schlosser & Clauss Consulting Engineers, Inc., dated December 8, 2022

Based on our review of the documents listed above, McMahon offers the following comments for consideration by the Township and further action by the applicant as related to this submission.

1. Provide a formal response letter addressing these comments with the next resubmission.
2. In accordance with the Liberty Bell Trail Feasibility Study and The AASHTO Guide for the Development of Bicycle Facilities, 4th Edition, the proposed trail/shared-use path must be a minimum of 10' wide and include a minimum 3' grass buffer between the edge of trail and driveway. It is noted that the adjacent section of the trail that is being constructed by the Township will be 10'. It is recommended that a meeting be scheduled with the Applicant's engineer to discuss feasible options for the buffer between the edge of trail and the driveway.

3. Provide truck turning templates to confirm that the largest expected design vehicle can navigate the site and the existing access.
4. Provide a "Stop" sign for the existing access at its intersection with W. Vine Street.
5. Additional information detailing the driveway construction, ADA accommodations and the pedestrian crossing on W. Vine Street must be provided with the resubmission. ADA Ramps must be provided at the W. Vine Street intersection for the proposed trail crossing.
6. Coordinate with the Township Traffic Engineer, McMahon, to obtain CAD files for the adjacent Liberty Bell Trail project. Adjust the southern limits of the trail accordingly to tie-in to the Township Trail project.
7. Revise the trail alignment at the northern limits to have a minimum 25' tangent section before the intersection of W. Vine Street.
8. Provide written evidence that PPL is aware of the project and has had an opportunity to comment on the proposed improvements within their easements.

Transportation Impact Fee

In accordance with the Hatfield Township Impact Fee Ordinance, the weekday afternoon peak hour trip generation of the proposed development will be subject to the Transportation Impact Fee, which is \$2,281.88 per new weekday afternoon peak hour trip. The applicant should provide additional information regarding the operation of the facility and the expected number of employees. Upon receipt of this information, the impact fee will be evaluated. It is anticipated that the applicant will incur the cost of the trail construction in lieu of the impact fee.

We trust that this review letter responds to your request, and satisfactorily addresses the traffic issues related to the proposed development at this time. If the Township has any questions, or requires further clarification, please contact me.

Sincerely,



Anton Kuhner, P.E.
Senior Project Manager

EJR/akk

cc: Aaron Bibro, Hatfield Township
Don Delamater, Hatfield Township



Bryan McAdam, CKS Engineers
Christen Pionzio, Hamburg, Rubin, Mullin, Maxwell & Lupin
Kirk W. Clauss, P.E., Schlosser & Clauss Consulting Engineers, Inc.
Andrew Lersch, Applicant
Jamie Snyder, Hatfield Borough

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4259 W. Swamp Road
Suite 410
Doylestown, PA 18902

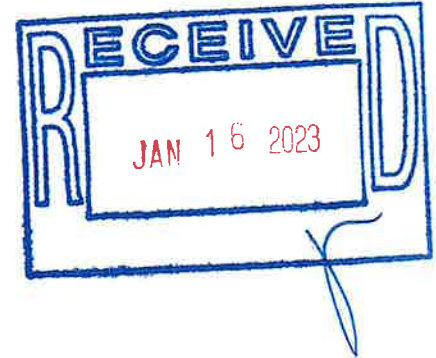
www.cksenineers.com
215.340.0600

January 13, 2023
Ref: # 3639

Hatfield Township
1950 School Road
Hatfield, PA 19440

Attention: Scott Hutt, Assistant Township Manager

Reference: Didden Greenhouses
57 W. Vine Street
Preliminary Land Development
(Hatfield Township Project #P23-01)



Dear Mr. Hutt:

CKS Engineers, Inc. has completed our review of the above-referenced land development plan. The applicant proposes to construct a greenhouse facility on tax parcels 35-00-02218-013 and 09-00-00313-002. The overall parcel(s) encompasses approximately 18 acres, most of which is in Hatfield Borough. The Township portion of the site is approximately 5.62 acres in the RA-1 Residential zoning district. The proposed improvements include a 109,499 SF greenhouse building, a stormwater management facility and driveway with a single, two-way access from West Vine Street in Hatfield Borough. Nine vehicle parking spaces and one loading area are also proposed. The site is bounded by a railroad right-of-way to the east and contains a 40-ft. wide PP&L easement along its eastern boundary. The site will also contain a trail connection to the Township's Liberty Bell Trail extension. Water and sanitary sewer service are noted to be public.

The submission consists of a twelve (12) page set of plans titled "Didden Greenhouses Land Development Plan" dated December 8, 2022, with no revisions, a Stormwater Management Report, dated December 10, 2022, with no revisions, and Flood Area Analysis, dated November 15, 2022, with no revisions, all prepared by Schlosser and Clauss Consulting Engineers, Inc. Also included is a Wetland Report prepared by Nova Consultants Ltd., dated November 2020, with no revisions.

We have reviewed the plans documents for compliance with applicable Zoning, Subdivision and Land Development, and Stormwater Management Ordinance requirements, and have the following comments:

1. The applicant applied for and was granted several variances from the Zoning Hearing Board from the following Zoning Ordinance sections, as summarized on Sheet 1 of 12:
 - a. 282-24 (Use regulations), to allow the proposed use. The land development plan notes the proposed use as "Manufacturing / warehouse wholesale business / agriculture."
 - b. 282-27.A (Building coverage), to allow building coverage in excess of 20% allowed, not to exceed 57%. The land development plan identifies the proposed building coverage as 52%.

- c. 282-27.B(2) (Impervious coverage) to permit impervious coverage in excess of 45% allowed for nonresidential uses, not to exceed 68%. The land development plan indicates the proposed impervious coverage as 64%

The relief was granted subject to the following conditions, which are also indicated on the plan:

- i. That the Applicant will proceed through the Township's land development approval process and obtain such an approval, or formal waiver therefrom, by the Board of Commissioners.
 - ii. That development and use of the subject property shall be in substantial conformance with the testimony and exhibits presented on behalf of the Applicant at the Public Hearing on this matter, including (without limitation) the Plan attached hereto.
 - iii. That formal hours of operation at the subject property shall be weekdays 7:00 AM to 5:00 PM, and Saturdays during the Spring (March 15 to June 15) and Fall (September 15 to December 15) 7:00 AM to 5:00 PM.
 - iv. That there shall be no reverse alarms or other loud machinery operation prior to 9:00 AM on any Saturday.
 - v. That evergreen landscaping shall be installed and maintained along the perimeter of the subject property in the form and substance determined in the reasonable discretion of Hatfield Township professional consultants as part of the Hatfield Township land development review process.
 - vi. That the Applicant shall cooperate in good faith with the Township, as part of the land development process, to extend and connect the Liberty Bell Trail upon the subject property.
2. Our comments focus primarily on the Hatfield Township portion of the site, with the exception of the stormwater management facilities. We defer to Hatfield Borough regarding compliance for the improvements proposed in the portion of the parcel contained in the Borough. We recommend that the Record Plan be revised to include signature certifications from Hatfield Borough as well as receive review and approval from Hatfield Borough Council.
 3. Nine parking spaces are proposed based upon nine employees noted on Sheet 1 of the plan. The Applicant should confirm the number of employee work shifts for the facility. If greater than one, the required parking must be calculated using the two heaviest work shifts. (282-186.B.11)
 4. No site lighting is shown on the plans; the height, location and light distribution pattern of any parking lot (and building-mounted) lighting must be shown on the plans to determine if there will be any glare onto or disturbance of adjacent residential properties. (282-188.D)
 5. The plans should be revised to include dimensions and labels for the loading space(s). Due to the limited number of available parking spaces, we recommend gore striping be provided to prevent parking or stopping in front of the loading area. (282-190)

6. Should relief from the requirements of the Subdivision and Land Development Ordinance or the Stormwater Management Ordinance be necessary, the relief requested must be indicated on the plans as well as submitted in written correspondence including an explanation of the reason for the relief needed. (250-73)
7. Curbing is shown along a portion of the parking area, but is required along all travelways. Curbing is not provided at the parking drive aisle nor the access driveway. We would be supportive of a waiver of curbing for portions of the parking area and drive aisle where appropriate for stormwater control, however a waiver should be requested. (250-30.C)
8. A truck turning exhibit illustrating the largest delivery vehicle and fire apparatus expected to access the site should be provided. The plans should show movements from the site entry, turnaround for loading, and departure. (250-40.M)
9. General Note 6 on Sheet 1 references public water service to the site. The plans illustrate an incoming water line from the Winston Street cul-de-sac. Fire hydrants, existing and proposed should be shown. (250-35)
10. We have the following comments regarding landscaping:
 - a. Landscape Plans shall be prepared, sealed and signed by a Landscape Architect registered in the Commonwealth of Pennsylvania. No evidence of compliance with this requirement has been indicated on the plan. (250-67.E.7)
 - b. The plan notes a combined deficiency of 96 deciduous trees, 126 evergreen trees, and 301 shrubs within the Southwest perimeter buffer (250-38.A) and building area landscaping (250-38.C.2). Deficiency quantities should be adjusted based on responses to comments included herein.
 - c. The following comments and recommendations are relative to the perimeter buffer plantings (250-38.A):
 - i. Northwest property line – Notes on the plan indicate that the Applicant is intending to utilize existing vegetation to meet the buffer planting requirement. Specific minimum requirements (width and plant quantities) should be provided. The required planting mix for the buffer is to be shade and evergreen trees, as well as shrubs, whereas the existing vegetation is generally deciduous. Existing trees to remain should be reviewed by the Township to determine if acceptable to count toward a portion of the shade tree requirements.

Furthermore, since vegetation to remain is intended by the Applicant to count toward landscaping requirements, we request that the following note, or similar, be added to the Landscape Plan: *The Township reserves the right to require additional landscape plantings, following substantial completion of construction, should vegetation to be preserved not be preserved or not otherwise be as represented on the Final Landscape Plan(s).*

- ii. Southwest property line – Notes on the “Landscaping Requirements” chart propose using plantings which are double the minimum caliper or height otherwise required by the ordinance, with each proposed plant counting toward meeting two required plants. While we have no objection to consideration to permit a portion of the plants at a larger size, the proposed plant sizes specified for the perimeter buffer are not twice the minimum requirements.

Barrier buffer calculations – the portion of the property boundary not directly adjacent to residential parcels in the southwest (owned by PP&L and Hatfield Township, approximately 216 LF) is not required to provide a barrier buffer. This length may be removed from the calculation for the required plantings.

- d. The following comments and recommendations are relative to the required plantings (250-38.C):
 - i. We note that the Applicant is proposing twice the minimum required plant sizes for the required plantings, with each proposed plant counting toward meeting two required plants. While we have no objection to consideration to permit a portion of the plants at a larger size, some of the species such as, but not necessarily limited to, Itea and Inkberry may not be available at the minimum height listed based on availability and species growth habits. As such, the shrub plant sizes (or species) should be adjusted accordingly based on availability related to plant growth characteristics.
 - ii. Calculations for minimum required Net Land Area landscaping are based on “Developable area in Hatfield Township” as listed under “Site Info” on Sheet 1, Land Development Plan, which is acceptable. The calculations should be adjusted to exclude building area. (250-38.C.2)
 - iii. The Applicant has met the minimum Township requirements for Detention Basin plantings. Should revisions based on reviewing agencies result in adjustments to the stormwater management design, adjustments to proposed plantings should be made accordingly. (250-38.C.3)
- e. The planting design should be revised to provide minimum PA BMP landscaping. (250-38.C.4)
- f. Tree protection measures should be provided along the Winston Street side of the development. (250-38.D.)
- g. The “Landscaping Requirements” chart implies that no replacement trees are required. The applicant should confirm whether trees of eight-inch diameter or greater will be removed. Any tree having a diameter of eight inches or more measured at breast height which is to be removed as a result of the development activity and cannot be relocated shall be replaced with a new tree of like kind having a diameter of 1 1/2 inches. Onsite inspection indicates that there are several trees that appear to be 8” caliper or greater that will be removed. The plan does not indicate the trunk locations and tree calipers for trees 8” caliper dbh or greater as required per Section 250-67.E.(7)(b). This

information is necessary to determine minimum replacement tree requirements. In lieu of specifically locating each tree, it would be acceptable to provide information regarding total overall counts of trees 8" caliper dbh and greater within each tree grouping, with particular attention to the counts of trees intended for removal. (250-38.E.)

- h. We offer the following comments and recommendations relative to the proposed *species* and *placement*:
- i. Red Sprite Winterberry, a deciduous shrub species, is inaccurately proposed to meet minimum Evergreen shrub requirements and should be revised accordingly.
 - ii. The PA Department of Agriculture is phasing a ban of the sale or distribution of invasive Japanese Barberry and Burning Bush shrubs in the near future. As such, a different species should be proposed.
 - iii. Minimum 3" caliper Sweetbay Magnolia are proposed. These tree species are often available as multi-stem trees. It is acceptable to specify these trees as multi-stem trees, as long as the minimum height specified is the same as a minimum 3" caliper tree.
 - iv. The "Proposed Landscaping Chart" should be revised to list Sweetbay Magnolia as an Ornamental tree under Basin Landscaping.
 - v. A diversity of species should be considered relative to the American Holly trees proposed northwest of the basin.
 - vi. Japanese Black Pine trees may be difficult to find in nurseries; an alternative species should be considered.
 - vii. Proposed tree and shrub species to be planted within the floodplain and within the stormwater management facilities should be reviewed and adjusted as necessary to insure improved survivability within inundated areas.
 - viii. Shade trees, flowering trees, and evergreen trees shall be located outside of any easement line and no less than 10 feet away from any above ground or underground utility line. (Section 250-38.J.)
 - ix. Trees and shrubs should not be located in the center of a swale. Grading and/or planting locations along the westerly property line requires revision.
 - x. Layout of proposed tree and shrub plantings in some areas appears haphazard and not carefully considered.
 - xi. We recommend that the "Proposed Landscaping Chart" be expanded to include the intended spacing of shrubs. Designed spacing for each shrub species proposed should be reviewed based on the mature size of the species, and intent of the design.

In addition, we recommend that shrubs be included in a continuous mulch bed for ease of on-going maintenance.

- xii. Locations of existing trees and tree canopies for trees intended to remain along the Winston Street side of the development should be considered relative to placement and species of proposed buffer plantings.
 - xiii. Locations of proposed trees should be adjusted to be outside of the proposed emergency spillway.
 - xiv. Layout and/or species of trees proposed near overhead PP&L utility lines near the southern corner of the site should be reviewed and adjusted to eliminate conflict as the trees mature. Placement and species of trees in this area may be subject to PP&L approval.
 - xv. Minimum height as listed for trees in the "Proposed Landscaping Chart" should be revised to meet the standards of the "American Standard for Nursery Stock" by AmericanHort, latest addition. (Section 250-38.I.)
11. The proposed driveway and trail encroach within the PP&L right-of-way. An easement agreement will be necessary for these improvements. (250-39.C)
12. We have the following comments on the Liberty Bell Trail extension:
- a. As shown, the proposed Liberty Bell Trail is shown directly abutting the access driveway, with no delineation or physical separation for pedestrians. We do not approve of this configuration and suggest that the applicant's engineer contact the Township staff to discuss adjustments.
 - b. The proposed trail should be labeled, and its width dimensioned on the plans.
 - c. A typical construction detail for the trail should be included on the plans as directed by the Township.
 - d. The timeline for trail construction relative to site development and building occupancy must be discussed with the Township and noted on the plans.
13. The distance from the building's exterior wall to the head of the row of nine parking spaces should be dimensioned on the plan. (250-40.D)
14. Dimensions of driveways, standard and accessible parking stalls must be noted on the plans. (250-40.E)
15. The extent of all paved driveway areas must be clarified. A paved turnaround with a 40-foot radius may need to be provided as the parking lot configuration creates a dead-end alley condition. (250-44.E)

16. The intended trash collection area must be identified on the plans and supplemented with truck turning diagrams. If facilities will be situated within the building or on the Hatfield Borough portion of the parcel their location should still be noted. (250-44.1)
17. The Stormwater Management Report discusses a desire for future parking lot expansion. The development plans do not detail any potential spaces or parking held in reserve. The applicant should clarify their intentions with regard to future parking expansion although they have indicated the stormwater management design considers future buildout of additional parking.
18. We have the following erosion and sedimentation control design:
 - a. An NPDES Permit will be required. (242-19.B.2)
 - b. Soil Resolution Note 1 mentions basement construction and Note 1B references sump pumps to be installed for "each unit". The quantity and locations of sump pump discharges must be shown if applicable, and the note revised specific to the project. It is our understanding there will be no basement based upon finished floor spot elevations.
 - c. Soil Resolution Note 5 on Sheet 5 references blasting; any such operations shall require approval of Hatfield Township and Hatfield Borough prior to commencement.
 - d. The legend on E&S plan Sheet 5 references silt fencing but provides it does not appear that a detail has been provided. Plan Sheet 10 includes a detail for compost filter sock. The legend on Sheet 5 should be revised if compost filter sock will be used.
 - e. The location of and a typical detail for a concrete washout area should be added to Sheets 5 and 10.
19. We have the following comments for stormwater and grading design:
 - a. The plan proposes a forebay/rain garden in Hatfield Township discharging to a detention basin situated in the Hatfield Borough portion of the site. The basin discharges to an area within Hatfield Borough calculated / delineated by the applicant to be flood prone, although not mapped by FEMA on FIRM panel 42091C0143G. Additionally, a capture and re-use system is noted to manage 90% of the proposed increase in runoff due to greenhouse improvements.

Conceptually, the proposal appears to be acceptable, however we have concerns regarding several components of the design and report. We recommend that that applicant's engineer contact our office to discuss. It may be beneficial to include the Hatfield Borough Engineer in these discussions.
 - b. The plans should be revised to provide complete details of the capture and re-use system's operation and its interaction with the stormwater conveyance system. In addition, it is unclear if more than one storage area is proposed. The Stormwater Report references one 11 feet wide by 280 feet long by 6 foot deep chamber, but it appears that there are two locations shown in plan view, neither is 280 feet in length.

- c. Details illustrating the proposed 12-inch PVC pipe installation relative to greenhouse building foundations should be provided.
 - d. We recommend water quality protection devices such as a snout or sumped inlet be considered for Inlets 5 and 7 which are immediately upstream of the forebay and situated in loading / parking areas.
 - e. The plans should provide labeling for all structures, particularly at the westerly basin.
 - f. Riprap calculations should be provided for all endwalls, as applicable.
 - g. The four-inch perforated PVC within the forebay/rain garden detail on Sheet 11 of 12 should be shown in plan view.
 - h. The invert in for Inlet 3 noted on Sheet 3 of 12 is not consistent with consistent with the profile on Sheet 8 of 12.
 - i. Based on the listed inverts, no drop occurs across Inlet 5. A drop should be provided if possible. (242-18.B.5.d)
 - j. Piping from Inlet 7 to Manhole 8 is listed on the plans to be 15-inch diameter, whereas the Stormwater Report notes an 18-inch diameter. All stormwater piping must be a minimum diameter of 18 inches or a waiver requested. (242-18.B.2.g)
 - k. The basin's emergency spillway width should be dimensioned in plan view on Sheet 3 of 12 and the crest length / invert must be consistent between the plan detail and Stormwater Report.
 - l. Outlet structure orifices and outlet pipe inverts, lengths and diameters at the outlet structures must be consistent between the plans and Stormwater Report.
 - m. It is not clear if the Trash Rack Detail on Sheet 10 also applies to Outlet Structure # 1 within the forebay.
 - n. The proposed curbing should be tapered where it terminates in the vicinity of Inlet 4; TC/BC elevations should be noted on Sheets 3 and 4 of 12 and a typical detail added to Sheet 9 of 12
 - o. Curbing and inlet(s) should be considered along the driveway / loading area to prevent vehicle damage to forebay berm.
 - p. Sidewalk shall have cross slope for drainage. The detail on Sheet 9 of 12 should be revised. (250-31.l)
20. Ultimately, we will require a construction cost estimate for use with the Development Agreement, however, this estimate should not be prepared until the approvals have been obtained.

21. We recommend the Record Plans be sent to the Township Solicitor for review of the signature certifications, etc.
22. We have the following general engineering and drafting comments:
 - a. A note should be added to the plan indicating that "the building and lot will not be used for any purpose, trade or business that is noxious, offensive or potentially injurious to health by reason of odor, noise, dust, smoke, heat, gas, radiation or vibration. No hazardous materials, defined as all materials listed as hazardous by the Environmental Protection Agency, or its successor, shall be permitted on the site." (282-30.D)
 - b. The plans should be revised to list the address as directed by the Township Fire Marshal, "60 W. Vine Street."
 - c. A note should be added to the plan indicating that there will be no sale of materials from the parking lot. (282-188.A)
 - d. Proposed walkway widths should be dimensioned and must be ADA compliant.
 - e. Based upon the location of the sidewalk shown into the building entry, accessible parking stalls and the associated access aisle should be shifted to minimize the travel distance from these spaces to the building entry.
 - f. The plan should include the following notes (242-18.B.5.h and 242-18.B.6.b):

HDPE pipe is to be bedded with 2B clean stone (from 4" underneath to the top of pipe).

Paving materials shall be 0.0 to 0.3 mESAL design

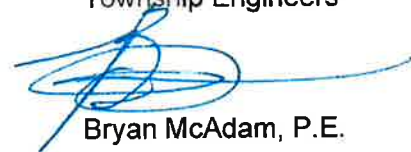
All inlets in areas to be paved are to be backfilled with 2A material.

All inlets must be the environmental type, i.e. A general note or detail should be added to the plan stating: All inlets and headwalls/endwalls shall be stenciled by the developer to indicate that "No Dumping Allowed — This inlet flows to Neshaminy Creek".
 - g. The plans should be revised to clearly depict the extent of the 40-foot-wide PP&L easement.
 - h. Clarity of overall plan information is difficult to read. Information including, but not necessarily limited to, proposed contours, proposed driveways, proposed trail, and proposed sidewalk are all similar line weights. Adjustments to drafting standards are recommended to improve clarity.
 - i. Floodplain study cross sections should be labeled on the Existing Features Plan and the limits of the floodplain should be clearly delineated on all plan sheets.

- j. The area of proposed greenhouses in the Floodplain Analysis and Stormwater Management reports conflicts with the building area listed on the plans; the reports should be revised to agree with the plan.
23. The plan should be submitted to the following entities for review and comment:
- a. Montgomery County Conservation District
 - b. Pennsylvania Department of Environmental Protection
 - c. Hatfield Township Traffic Engineer
 - d. Hatfield Township Fire Marshal (review letter dated January 4, 2023)
 - e. Hatfield Township Municipal Authority
 - f. North Penn Water Authority
 - g. Hatfield Borough

We recommend the plan be revised and resubmitted. Should you have any questions, please feel free to contact me.

Very truly yours,
CKS ENGINEERS, INC.
Township Engineers



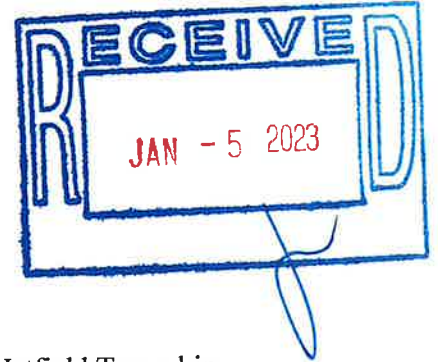
Bryan McAdam, P.E.

BMC/paf

cc: Kenneth Amey, Building / Zoning Official
Don Delamater, Zoning Officer
Catherine Basilio, Administrative Asst., Code Enforcement Dept.
Christen Pionzio, Esq., Township Solicitor
Anton Kuhner, P.E., McMahan Associates
Chad Camburn, PE, Bursich Associates, Inc., Hatfield Borough Engineer
(Chad.Camburn@Bursich.com)
Jaime Snyder, Hatfield Borough Manager (jsnyder@hatfieldborough.com)
George Didden Greenhouses, Inc., Owner
Kirk W. Clauss, P.E., Schlosser & Clauss Consulting Engineers, Inc.
Kimberli Flanders, RLA, CKS Engineers, Inc.
George DiPersio, .PE., CKS Engineers, Inc.
File

Safety and Code Enforcement Department

Land Development Plan Review



Date: January 4, 2023
To: Scott Hutt, Hatfield Township Assistant Manager
Project: Land Development – Didden Greenhouses, W. Vine Street, Hatfield Township
Plan Date: 12/8/2022, no revisions.
Project #: P23-01
Review: # 1

Dear Applicant:

The Hatfield Township Fire Marshal has reviewed the site plan for the above referenced project. The plan was reviewed for conformance with the codes and ordinances adopted by Hatfield Township and the Commonwealth of Pennsylvania, as well as established life safety and hazard mitigation practices. Please review the following comments and requirements:

1. The street address for the proposed building shall be 60 W. Vine Street Hatfield, PA 19440.
2. Provide a minimum 6 inch diameter water main extension from W. Vine Street to the approved location of the new fire hydrant as indicated on Sheet 1 of the attached Land Development plan. Please contact North Penn Water Authority to determine any meter vault requirements.
3. Provide a new fire hydrant in an approved location near the proposed building as indicated on Sheet 1 of the attached Land Development plan.
4. Provide an underground fire main from the water main extension to the fire sprinkler system riser as indicated on Sheet 1 of the attached Land Development plan. The fire main diameter shall be determined by the water flow demand of the sprinkler system. *Comment #4 can be disregarded if the building is constructed with fire areas of 5,000 square feet or less. The greenhouses are not required to have automatic fire sprinkler protection.*
5. Permit and installation information for the water main, fire main and fire hydrant will be provided once the plans are revised to show their locations.

6. The existing driveway from W. Vine Street to the proposed building shall be improved to meet all fire apparatus access road requirements and specifications.
7. Provide an approved fire apparatus access road parallel to the railroad tracks along the front of the proposed building. The new fire apparatus access road shall extend from the end of the existing fire apparatus access road (see #6 above), approximately 350 feet to the southeastern corner of the largest greenhouse as indicated on Sheet 1 of the attached Land Development plan.
8. Fire apparatus access road requirements and specifications are attached to this review document for your convenience.
9. Any accessibility features located outside of the street right-of-way shall be provided in accordance with the current version of the Pennsylvania Uniform Construction Code.

The inclusion or exclusion of specific code requirements within this review document does not in any way release the applicant from performing all work in accordance with the applicable building and safety codes adopted by Hatfield Township and the Commonwealth of Pennsylvania.

Review Status: The plans are **NOT APPROVED** based on the comments and requirements listed above.

Regards,

Mikele T. Waldron
Fire Marshal / Fire Code Official
mwaldron@hatfield.org
215-855-0900

cc: George Didden Greenhouses, Inc.
Aaron Bibro, Hatfield Township Manager
Don Delamater, Hatfield Township Director of Building & Zoning
Ken Amey, Hatfield Township Zoning Officer
Bryan McAdam, CKS Engineers
Jim Weiss, CKS Engineers
Kirk Clauss, Schlosser & Clauss Consulting Engineers, Inc.
Chris Norris, North Penn Water Authority
File



Safety and Code Enforcement Department

Fire Apparatus Access Roads

Fire Apparatus Access Road: A road that provides fire apparatus access from a fire station to a building, facility or portion thereof. This is a general term inclusive of all other terms such as fire lane, alley, public or private street/road, roadway or highway.

Emergency Access: A means for emergency vehicles to access buildings, developments, cul-de-sacs or similar areas if the main travel route was obstructed. Emergency accesses shall be fully maintained, including plowing and salting during winter weather events.

Driveway: A type of private road for local access to one or a small group of structures, and is owned and maintained by an individual or group.

All Weather Surface: All weather surface means a road surface which allows for unrestricted and unaided vehicular movement during any weather condition. All weather surfaces shall include asphalt, concrete or similar approved material. Fire apparatus access roads shall be fully maintained, including plowing and salting during winter weather events.

Approved: Approved by a Hatfield Township code official or other township authority.

Fire Apparatus Access Roads

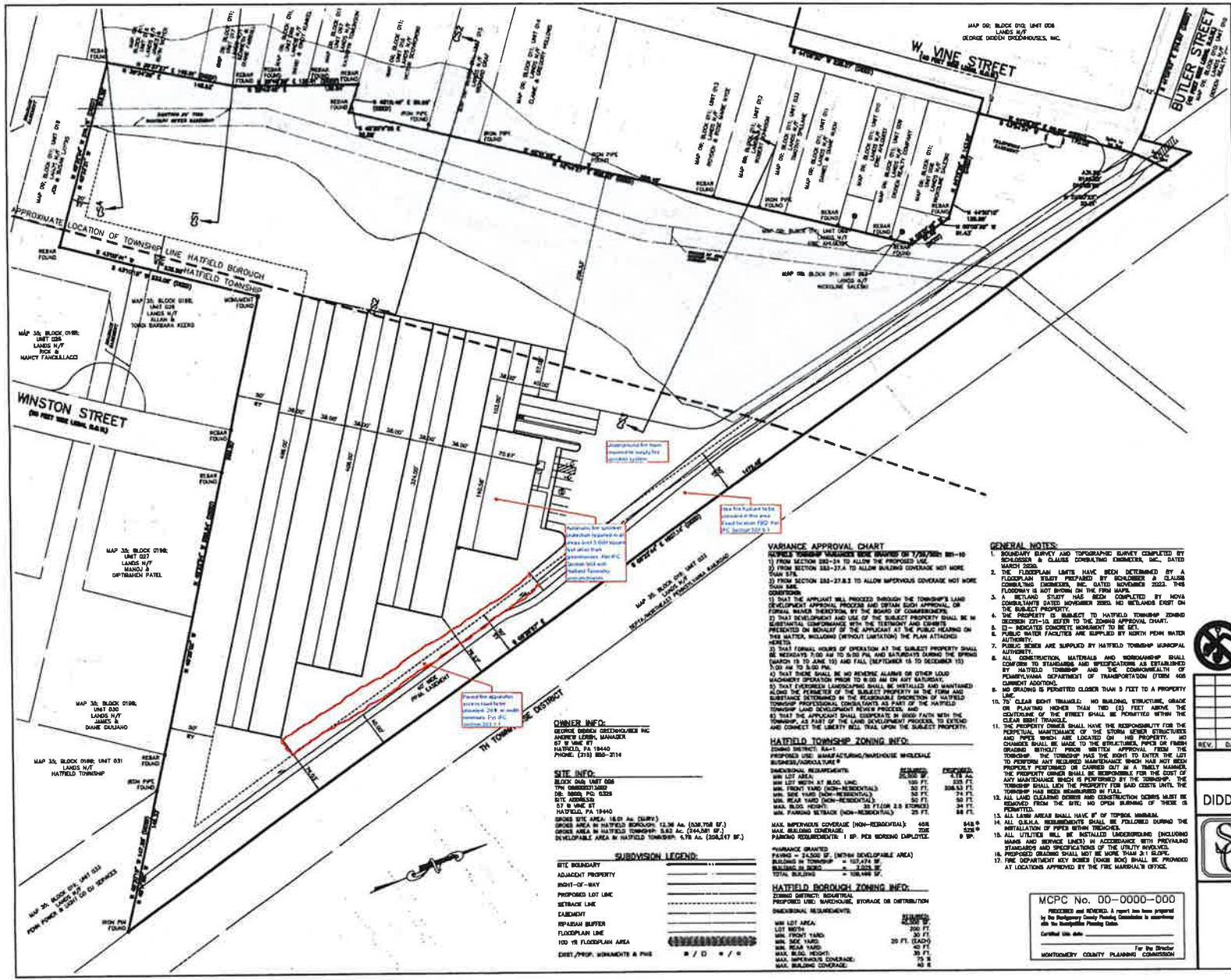
- Approved fire apparatus access roads shall be provided in accordance with the requirements of Hatfield Township and the International Fire Code.
- Fire apparatus access roads shall be provided within 150 of all portions of a building or facility, measured by an approved route around the exterior of the building or facility.
- Fire apparatus access roads shall have a minimum unobstructed width of 20 feet.
- Fire apparatus access roads shall have a minimum unobstructed vertical clearance of 13 feet 6 inches.
- Fire apparatus access roads shall not exceed 10% in grade.
- Fire apparatus access roads shall have an all-weather surface and be designed and maintained to support the imposed loads of fire apparatus, (80,000 lbs.).
- The fire apparatus access road requirements will apply to all buildings other than 1 and 2 family dwellings.

Emergency Access

- Approved emergency access shall be provided in accordance with the requirements of Hatfield Township and the International Fire Code.
- Emergency access shall have a minimum unobstructed width of 20 feet.
- Emergency access shall have a minimum unobstructed vertical clearance of 13 feet 6 inches.
- Emergency access shall not exceed 10% in grade.
- Emergency access shall be surfaced to provide all-weather driving capabilities and designed and maintained to support the imposed loads of fire apparatus, (80,000 lbs.).

Driveways for One and Two Family Dwellings

- Approved driveways shall be provided in accordance with the requirements of Hatfield Township and the International Fire Code.
- Portions of driveways 150 feet or less from any exterior wall of a dwelling shall have a minimum unobstructed width of 12 feet.
- Portions of driveways more than 150 feet from any exterior wall of a dwelling shall have a minimum unobstructed width of 16 feet.
- Portions of driveways more than 150 feet from any exterior wall of a dwelling shall have a minimum unobstructed height of 13 feet 6 inches.
- Portions of driveways more than 150 feet from any exterior wall of a dwelling shall have a minimum turning radius within fire apparatus capabilities.
- Portions of driveways more than 150 feet from any exterior wall of a dwelling shall not exceed 10% in grade.
- Portions of driveways including any bridges, culverts and similar features more than 150 feet from any exterior wall of a dwelling shall have a paved all-weather driving surface and be designed and maintained to support the imposed loads of fire apparatus, (80,000 lbs.).
- A single driveway shall not serve more than 2 dwelling units.
- Hatfield Township may modify these requirements as needed in the interest of public safety.



LOCATION MAP
SCALE: 1"=2000'

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF MONTGOMERY

ON THE DAY OF _____ 20____ BEFORE ME, the undersigned a Notary Public of the Commonwealth of Pennsylvania, personally appeared _____ and acknowledged this plan to be the official plan of streets and property shown thereon, situated in the Township of Hatfield, County of Montgomery, Commonwealth of Pennsylvania, and agreed that this plan be recorded according to law.

WITNESS BY HAND AND SEAL THE DAY AND YEAR ABOVE SAID.

(NOTARY SIGNATURE) _____
BY COMMISSION EXPIRES _____ (YEAR)

I HAVE Laid Out Upon My Land Situate in Pennsylvania, Certain Lots and Easements According to the Accompanying Plan Which is Intended to be Recorded.

WITNESS BY HAND AND SEAL THIS _____ DAY OF _____ 20____

(NAME) _____ (NAME) _____

APPROVED BY THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF HATFIELD, COUNTY OF MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA, ON THIS _____ DAY OF _____ 20____

APPROVED BY THE PLANNING COMMISSION OF HATFIELD TOWNSHIP THIS _____ DAY OF _____ 20____

CHAIRMAN _____
REMOVED BY THE TOWNSHIP ENGINEER _____
DATE: _____

LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM EXISTING RECORDS AND/OR ANNO-OPERATING INSPECTION OF THE SITE. COMPLETION OF AN ACCURATE LOCATION AND DEPTH CANNOT BE GUARANTEED. CONTRACTOR MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE START OF WORK BY CALLING FOR THE CALL SYSTEM, INC. - PHONE: 1-800-243-1574 THREE DAYS PRIOR TO EXCAVATION. REFERENCE PENNSYLVANIA ACTS 517 & 571.

DESIGN SERIAL NUMBER: _____

REV.	DATE	DESCRIPTION	BY

LAND DEVELOPMENT PLAN
RECORD PLAN 1 OF 4

DIDDEN GREENHOUSES

SCHLOSSER & CLAUSS
CONSULTING ENGINEERS, INC.
21 EAST LINCOLN AVE., SUITE 300
HATFIELD, PA 19402-5240
PHONE: 215-882-3000 FAX: 215-882-3000
EMAIL: SCCL@SCHLOSSER-CLAUSS.COM

SCALE: 1"= 50'

DRAWN BY: CRK DATE: 12-08-2022
CHECKED BY: KWC DRAWING NO.: 20005
JOB NO.: 20005 SHEET 1 of 12

VARIANCE APPROVAL CHART

- HATFIELD TOWNSHIP VARIANCES WERE GRANTED ON 7/26/2011 BY THE BOARD OF COMMISSIONERS:
- FROM SECTION 283-23.1 TO ALLOW THE PROPOSED USE.
 - FROM SECTION 283-27.1 TO ALLOW IMPROVED CONCRETE NOT MORE THAN 4" THICK.
 - FROM SECTION 283-27.2 TO ALLOW IMPROVED CONCRETE NOT MORE THAN 4" THICK.
- CONDITIONS:
- THAT THE APPLICANT WILL PROCEED THROUGH THE TOWNSHIP'S LAND DEVELOPMENT APPROVAL PROCESS AND OBTAIN SUCH APPROVAL OR FORMAL WRITTEN OBJECTION BY THE BOARD OF COMMISSIONERS.
 - THAT DEVELOPMENT AND USE OF THE SUBJECT PROPERTY SHALL BE IN SUBSTANTIAL CONFORMANCE WITH THE TOWNSHIP ZONING ORDINANCES PRESENTED ON BEHALF OF THE APPLICANT AT THE PUBLIC HEARING ON THIS MATTER, INCLUDING (WITHOUT LIMITATION) THE PLAN ATTACHED HERETO.
 - THAT NORMAL HOURS OF OPERATION AT THE SUBJECT PROPERTY SHALL BE RESTRICTED TO 7:00 AM TO 6:00 PM, AND SATURDAYS DURING THE SPRING (MARCH 15 TO JUNE 15) AND FALL (SEPTEMBER 15 TO DECEMBER 15) 7:00 AM TO 6:00 PM.
 - THAT THERE SHALL BE NO REMOTE ALARMS OR OTHER LOAD MANAGEMENT OPERATION PRIOR TO 8:00 AM ON ANY DAY.
 - THAT EXISTING LANDSCAPING SHALL BE RETAINED AND MAINTAINED ALONG THE PERIMETER OF THE SUBJECT PROPERTY IN THE FORM AND SUBSTANCE DETERMINED IN THE REASONABLE JUDGMENT OF HATFIELD TOWNSHIP PROFESSIONAL CONSULTANTS AS PART OF THE HATFIELD TOWNSHIP LAND DEVELOPMENT REVIEW PROCESS.
 - THAT THE APPLICANT SHALL SUPPORTERS AS PART WITH THE TOWNSHIP, AS PART OF THE LAND DEVELOPMENT PROCESS, TO EXTEND AND CONTACT THE UTILITY BELL TRAIL UPON THE SUBJECT PROPERTY.

HATFIELD TOWNSHIP ZONING INFO:

PROPOSED USE: MANUFACTURING/WAREHOUSE WHOLESALE DISTRIBUTION/INDUSTRIAL USE

MINIMUM REQUIREMENTS	REQUIREMENTS	EXISTING
MIN. LOT AREA	100 SF	718 AC
MIN. LOT WIDTH AT REAR LINE	100 FT	225 FT
MIN. FRONT YARD SETBACK	10 FT	308 FT
MIN. SIDE YARD (NON-RESIDENTIAL)	10 FT	74 FT
MIN. REAR YARD (NON-RESIDENTIAL)	10 FT	308 FT
MIN. MAX. HEIGHT	35 FT (OR 2.5 STORIES)	34 FT
MIN. FLOORING SETBACK (NON-RESIDENTIAL)	25 FT	88 FT

MAX. IMPROVED COVERAGE (NON-RESIDENTIAL): 45%
MAX. BUILDING COVERAGE: 20%
MAX. FLOORING SETBACK: 10 FT PER BUILDING DUPLET.

VARIANCE GRANTED: 24,500 SF (10% DEVELOPABLE AREA)
MIN. FRONT YARD: 10 FT
MIN. SIDE YARD: 10 FT (EACH)
MIN. REAR YARD: 10 FT
MAX. BUILDING HEIGHT: 35 FT
MAX. IMPROVED COVERAGE: 45%
MAX. BUILDING COVERAGE: 20%

HATFIELD BOROUGH ZONING INFO:

ZONING DISTRICT: INDUSTRIAL
PROPOSED USE: MANUFACTURING, STORAGE OR DISTRIBUTION

MINIMUM REQUIREMENTS	REQUIREMENTS	EXISTING
MIN. LOT AREA	100 SF	718 AC
MIN. LOT WIDTH	100 FT	225 FT
MIN. FRONT YARD SETBACK	10 FT	308 FT
MIN. SIDE YARD SETBACK	10 FT (EACH)	74 FT
MIN. REAR YARD SETBACK	10 FT	308 FT
MAX. BUILDING HEIGHT	35 FT	34 FT
MAX. IMPROVED COVERAGE	45%	88 FT
MAX. BUILDING COVERAGE	20%	88 FT

GENERAL NOTES:

- BOUNDARY SURVEY AND TOWNSHIP SURVEY COMPLETED BY SCHLOSSER & CLAUSS CONSULTING ENGINEERS, INC. DATED 8/20/11.
- THE PROPOSED LOTS HAVE BEEN DETERMINED BY A FLOODPLAIN STUDY PREPARED BY SCHLOSSER & CLAUSS CONSULTING ENGINEERS, INC. DATED NOVEMBER 2012. THIS FLOODPLAIN STUDY IS SHOWN ON THE FORM MAP.
- A SETBACK STUDY HAS BEEN COMPLETED BY MOVA CONSULTANTS LLC IN ACCORDANCE WITH HATFIELD TOWNSHIP ZONING ORDINANCE 283-10. SETBACK TO THE ZONING APPROVAL CHART.
- INDICATED COMPLETE MONUMENT TO BE SET.
- PUBLIC WATER FACILITIES ARE SUPPLIED BY NORTH PEAK WATER AUTHORITY.
- PUBLIC SEWER ARE SUPPLIED BY HATFIELD TOWNSHIP MUNICIPAL AUTHORITY.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO REGULATIONS AND SPECIFICATIONS AS ESTABLISHED BY HATFIELD TOWNSHIP AND THE COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF TRANSPORTATION (ITEMS AND CHANGES SHALL BE MADE TO THE STRUCTURES, PIPES OR OTHER CHANGES PRIOR TO THE APPROVAL FROM THE TOWNSHIP).
- NO SHADOWS IS PROHIBITED CLOSER THAN 5 FEET TO A PROPERTY LINE.
- TO CLEAR BENT TRIMMED, NO BRUSHING STRUCTURE, GRASS OR PLANTING HIGHER THAN TWO (2) FEET ABOVE THE CENTERLINE OF THE STREET SHALL BE PERMITTED WITHIN CLEAR BENT TRIMMED.
- THE PROPERTY OWNER SHALL HAVE THE RESPONSIBILITY FOR THE PERPETUAL MAINTENANCE OF THE STORM SEWER STRUCTURES AND PIPES WHICH ARE LOCATED ON HIS PROPERTY. NO CHANGES SHALL BE MADE TO THE STRUCTURES, PIPES OR OTHER CHANGES PRIOR TO THE APPROVAL FROM THE TOWNSHIP.
- THE TOWNSHIP HAS THE RIGHT TO ENTER THE LOT TO PERFORM ANY REQUIRED MAINTENANCE WHICH HAS NOT BEEN PROPERLY PERFORMED OR CARRIED OUT BY A TRULY MAINTAINED. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE COST OF ANY MAINTENANCE WHICH IS PERFORMED BY THE TOWNSHIP.
- THE TOWNSHIP SHALL LEASE THE PROPERTY FOR ROAD COSTS UNTIL THE TOWNSHIP HAS BEEN REIMBURSED BY ALL.
- ALL LAND CLEARING DURING AND CONSTRUCTION DURING MUST BE REVEALED FROM THE SITE. NO OPEN BURNING OF DEBRIS IS PERMITTED.
- ALL LAND CLEARING SHALL BE OF TOTAL LIMBS.
- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND (INCLUDING MAINS AND SERVICE LINES) IN ACCORDANCE WITH PREVIOUS STANDARDS AND SPECIFICATIONS OF THE UTILITY PROVIDER.
- PROPOSED BUILDING SHALL NOT BE MORE THAN 31' HEIGHT.
- FIRE DEPARTMENT KEY HOLE (ONCE BORN) SHALL BE PROVIDED AT LOCATIONS APPROVED BY THE FIRE MARSHAL'S OFFICE.

MCPC No. 00-0000-000
RECORDED AND REVIEWED. A report has been prepared by the Montgomery County Planning Commission in accordance with the Subdivision Planning Code.

For the Director
MONTGOMERY COUNTY PLANNING COMMISSION

OWNER INFO:
GEORGE DIDDEN GREENHOUSES INC
ANDREW LEHR, MANAGER
HATFIELD, PA 19440
PHONE: (215) 882-2014

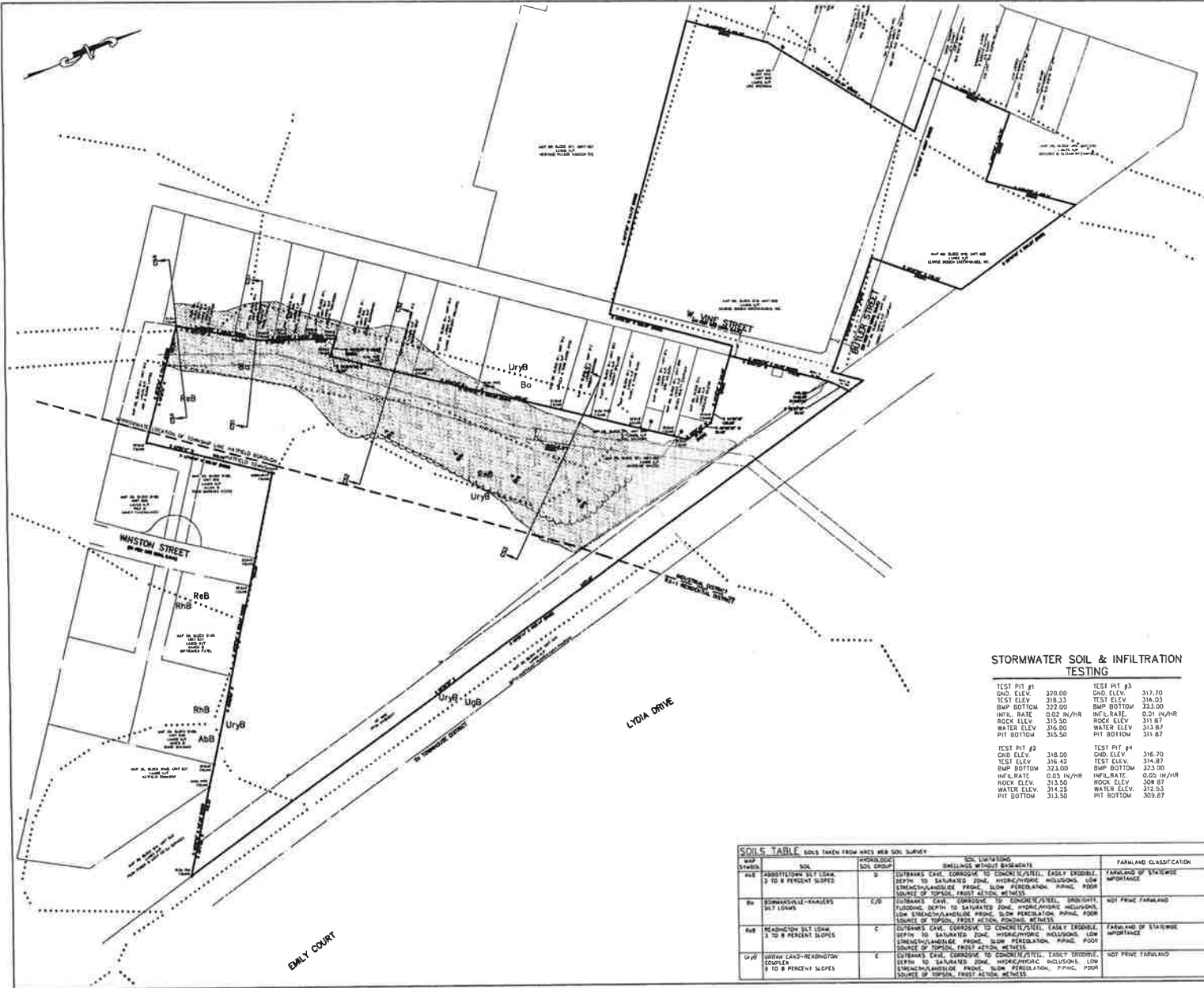
SITE INFO:
BLOCK 016 UNIT 026
TIN UNDEVELOPED
DE: 3000, PLS: 6325
SITE ADDRESS:
57 S LIME ST
HATFIELD, PA 19440

SPONSOR SITE AREA: 162.9 AC (GROSS)
SPONSOR AREA IN HATFIELD BOROUGH: 12.16 AC (10% OF 121.7)
SPONSOR AREA IN HATFIELD TOWNSHIP: 3.62 AC (2.9% OF 121.7)
DEVELOPABLE AREA IN HATFIELD TOWNSHIP: 4.76 AC (3.9% OF 121.7)

ETC BOUNDARY
ADJACENT PROPERTY
RIGHT-OF-WAY
PROPOSED LOT LINE
TACKLE
SETBACK LINE
EASEMENT
FLOODPLAIN BUFFER
FLOODPLAIN LINE
100 YR FLOODPLAIN AREA

EXIST. PROP., EASEMENTS & PWS

- EXISTING FEATURES LEGEND:**
- EXISTING STORM SEWER
 - EXISTING SANITARY SEWER
 - EXISTING SANITARY LATERAL
 - EXISTING WATER LINE
 - EXISTING GAS LINE
 - EXISTING USE TELEPHONE
 - EXISTING USE ELECTRIC
 - EXISTING UTILITY POLE
 - EXISTING CONTOUR
 - TRIE LINE



STORMWATER SOIL & INFILTRATION TESTING

TEST PIT #1	COG. ELEV. 330.00	TEST PIT #3	COG. ELEV. 317.70
TEST ELEV. 318.33	TEST ELEV. 318.03	TEST ELEV. 318.03	TEST ELEV. 318.03
BMP BOTTOM 327.00	BMP BOTTOM 323.00	BMP BOTTOM 323.00	BMP BOTTOM 323.00
INFIL. RATE 0.02 IN/HR	INFIL. RATE 0.01 IN/HR	INFIL. RATE 0.01 IN/HR	INFIL. RATE 0.01 IN/HR
ROCK ELEV. 315.50	ROCK ELEV. 311.87	ROCK ELEV. 311.87	ROCK ELEV. 311.87
WATER ELEV. 316.00	WATER ELEV. 313.87	WATER ELEV. 313.87	WATER ELEV. 313.87
PIT BOTTOM 315.50	PIT BOTTOM 311.87	PIT BOTTOM 311.87	PIT BOTTOM 311.87
TEST PIT #2	COG. ELEV. 318.00	TEST PIT #4	COG. ELEV. 316.70
TEST ELEV. 316.42	TEST ELEV. 314.87	TEST ELEV. 314.87	TEST ELEV. 314.87
BMP BOTTOM 323.00	BMP BOTTOM 323.00	BMP BOTTOM 323.00	BMP BOTTOM 323.00
INFIL. RATE 0.05 IN/HR	INFIL. RATE 0.05 IN/HR	INFIL. RATE 0.05 IN/HR	INFIL. RATE 0.05 IN/HR
ROCK ELEV. 313.50	ROCK ELEV. 309.87	ROCK ELEV. 309.87	ROCK ELEV. 309.87
WATER ELEV. 314.25	WATER ELEV. 312.53	WATER ELEV. 312.53	WATER ELEV. 312.53
PIT BOTTOM 313.50	PIT BOTTOM 309.87	PIT BOTTOM 309.87	PIT BOTTOM 309.87



LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM EXISTING RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETION OF ACCURACY OF LOCATION AND DEPTH CANNOT BE GUARANTEED. CONTRACTOR MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE START OF WORK BY CALLING FOR ONE CALL SYSTEM, INC. - PHONE 1-800-842-1176 THREE DAYS PRIOR TO EXCAVATION. REFERENCE PENNSYLVANIA ACTS 58 & 131, DESIGN SERIAL NUMBER.

REV.	DATE	DESCRIPTION	BY

EXISTING FEATURES PLAN

DIDDEN GREENHOUSES



SCHLOSSER & CLAUSS
CONSULTING ENGINEERS, INC.
21 EAST LINDSEY AVE., SUITE 209
HATFIELD, PA 19401-2109
PHONE: 215-855-3300 FAX: 215-855-3300
EMAIL: SCS@SCHLOSSER-CLAUSS.COM

SCALE: 1" = 80'

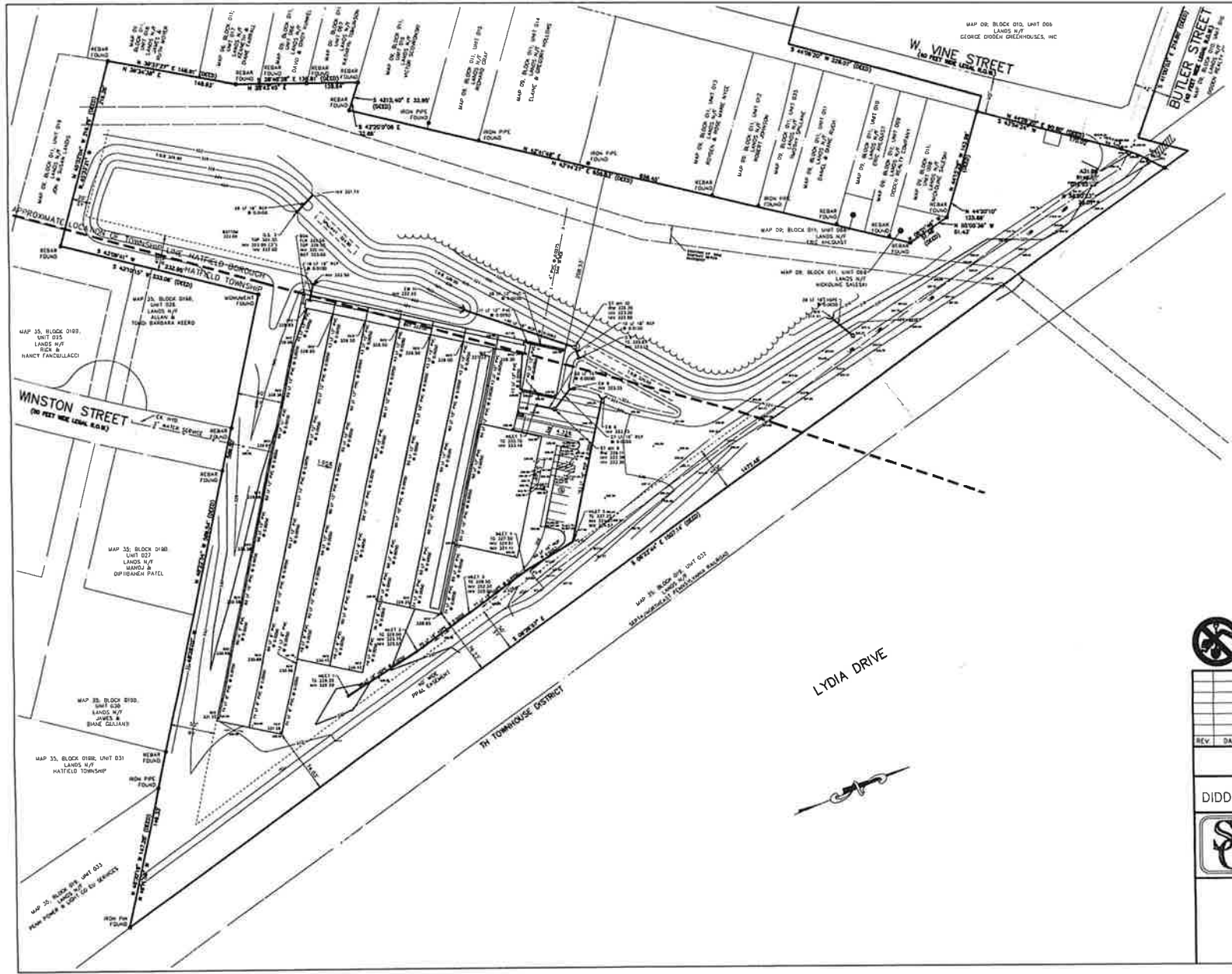
DRAWN BY: CRK DATE: 12-08-2022

CHECKED BY: KWC DRAWING NO.: 20005

JOB NO.: 20005 SHEET 2 OF 12

SOILS TABLE SOILS TAKEN FROM HRC'S WEB SOIL SURVEY

MAP SHEET	SOIL	HYDROLOGIC SOIL GROUP	SOIL DESCRIPTION (SMELLS WITHOUT STAINMENT)	FARMLAND CLASSIFICATION
A#8	ADDISTON W-1 (SAND 3 TO 8 PERCENT SLOPES)	B	OUTWASH SAND, COARSE TO CONCRETE/STELL, EASY TROUBLE, DEPTH TO SATURATED ZONE, HYDROPHOBIC NODULES, LOW SHRINKAGE/ANGLAGE PRONE, SLOW PERCOLATION, PPHAL, POOR SOURCE OF TOPSOIL, FIRST ACTION WEEDS	FARMLAND OF STATEWIDE IMPORTANCE
B#	BORNSVILLE-VAAGERS 303 (SAND)	E/B	OUTWASH SAND, COARSE TO CONCRETE/STELL, SANDY, DEPTH TO SATURATED ZONE, HYDROPHOBIC NODULES, LOW SHRINKAGE/ANGLAGE PRONE, SLOW PERCOLATION, PPHAL, POOR SOURCE OF TOPSOIL, FIRST ACTION WEEDS	NOT PRIME FARMLAND
A#8	REARDING W-1 (SAND 3 TO 8 PERCENT SLOPES)	C	OUTWASH SAND, COARSE TO CONCRETE/STELL, EASY TROUBLE, DEPTH TO SATURATED ZONE, HYDROPHOBIC NODULES, LOW SHRINKAGE/ANGLAGE PRONE, SLOW PERCOLATION, PPHAL, POOR SOURCE OF TOPSOIL, FIRST ACTION WEEDS	FARMLAND OF STATEWIDE IMPORTANCE
U#2	GREEN LAKE-REARDING (SAND 8 TO 8 PERCENT SLOPES)	E	OUTWASH SAND, COARSE TO CONCRETE/STELL, EASY TROUBLE, DEPTH TO SATURATED ZONE, HYDROPHOBIC NODULES, LOW SHRINKAGE/ANGLAGE PRONE, SLOW PERCOLATION, PPHAL, POOR SOURCE OF TOPSOIL, FIRST ACTION WEEDS	NOT PRIME FARMLAND



SITE IMPROVEMENT LEGEND

EXISTING STORM SEWER	---
PROPOSED STORM SEWER	---
EXISTING SANITARY SEWER	---
PROPOSED SANITARY SEWER	---
EXISTING WATER LINE	---
PROPOSED WATER LINE	---
EXISTING GAS LINE	---
PROPOSED GAS LINE	---
EXISTING 120V ELECTRIC	---
PROPOSED 120V ELECTRIC	---
EXISTING UTILITY POLE	---
PROPOSED UTILITY POLE	---
EXISTING LIGHT POLE	---
PROPOSED LIGHT POLE	---
EXISTING CONTOUR	---
PROPOSED CONTOUR	---
FLOODPLAIN LINE	---
EXISTING TREE LINE	---
PROPOSED TREE LINE	---
TREE PROTECTION FENCING	---
POSTIVE DRAINAGE INDICATOR	---
PROPOSED #4#4 PAV	---

LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM EXISTING RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH CANNOT BE GUARANTEED. CONTRACTOR MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE START OF WORK BY CALLING PA ONE CALL SYSTEM, INC. - PHONE 1-800-343-1715 THREE DAYS PRIOR TO EXCAVATION. REFERENCE PENNSYLVANIA ACTS 207 & 151 DESIGN SERIAL NUMBER

REV	DATE	DESCRIPTION	BY

SITE PLAN

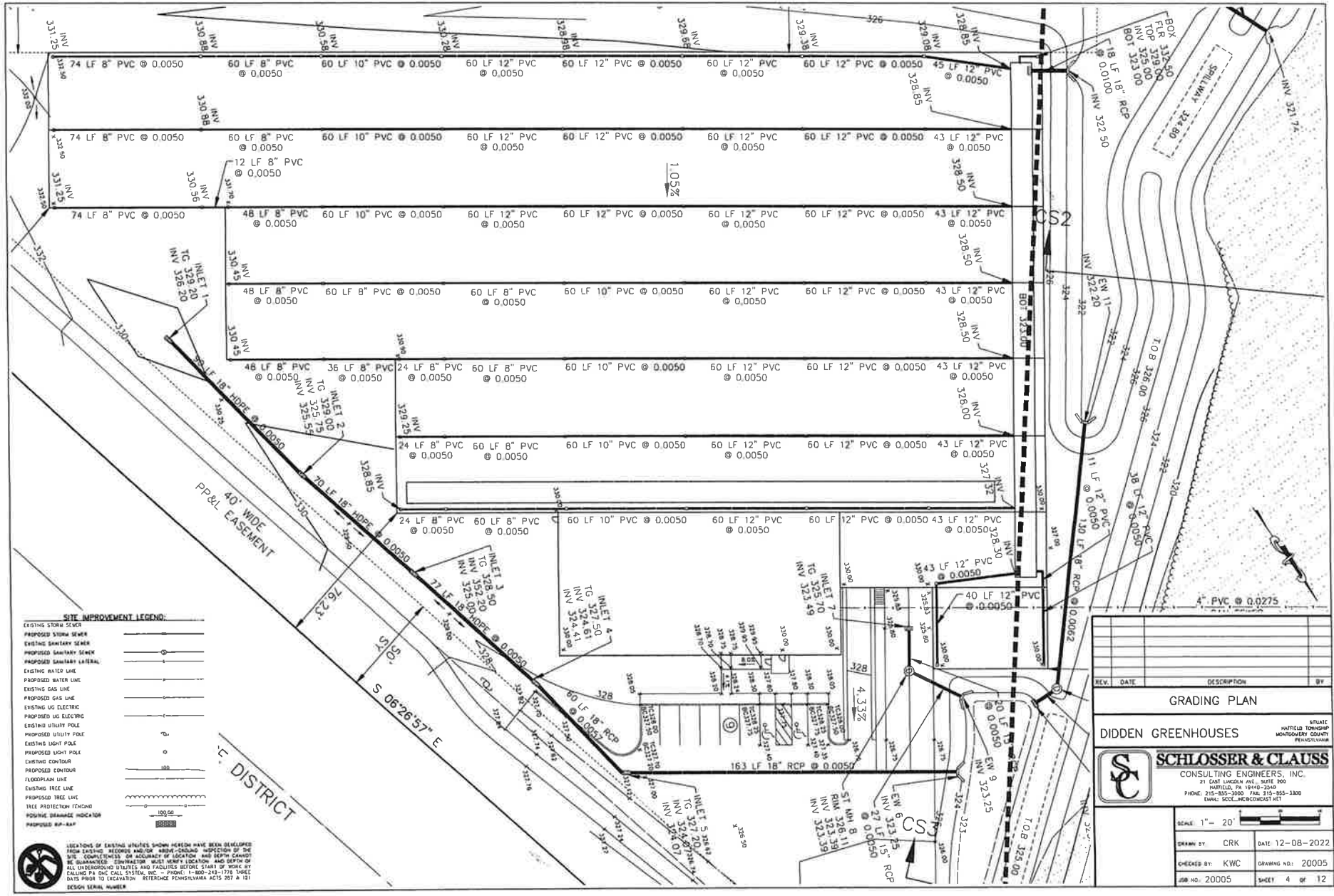
DIDDEN GREENHOUSES

SCHLOSSER & CLAUSS
 CONSULTING ENGINEERS, INC.
 31 EAST LINDSAY AVE., SUITE 203
 HARTFORD, PA 17033-2940
 PHONE 717-853-3300 FAX 717-853-3308
 EMAIL: SECC@SCHLOSSER-CLAUSS.COM

SCALE 1" = 50'

DESIGN BY: CRK	DATE: 12-08-2022
CHECKED BY: KWC	DRAWING NO.: 20005
JOB NO.: 20005	SHEET: 3 OF 12

SUBJECT: HARTFIELD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA



SITE IMPROVEMENT LEGEND:

	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING SANITARY LATERAL
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING GAS LINE
	PROPOSED GAS LINE
	EXISTING 100V ELECTRIC
	PROPOSED 100V ELECTRIC
	EXISTING UTILITY POLE
	PROPOSED UTILITY POLE
	EXISTING LIGHT POLE
	PROPOSED LIGHT POLE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	FLOODPLAIN LINE
	EXISTING TREE LINE
	PROPOSED TREE LINE
	TREE PROTECTION FENCING
	POSITIVE DRAINAGE INDICATION
	PROPOSED RP-RAP

LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM EXISTING RECORDS AND/OR AERIAL-CAMERA INSPECTION OF THE SITE. COMPLETION OF ACQUISITION OF LOCATION AND DEPTH CANNOT BE GUARANTEED. CONTRACTOR MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE START OF WORK BY CALLING PA ONE CALL SYSTEM, WWW.PAONECALL.COM, PHONE: 1-800-243-7776 THREE DAYS PRIOR TO EXCAVATION. REFERENCE PENNSYLVANIA ACTS 201 & 121



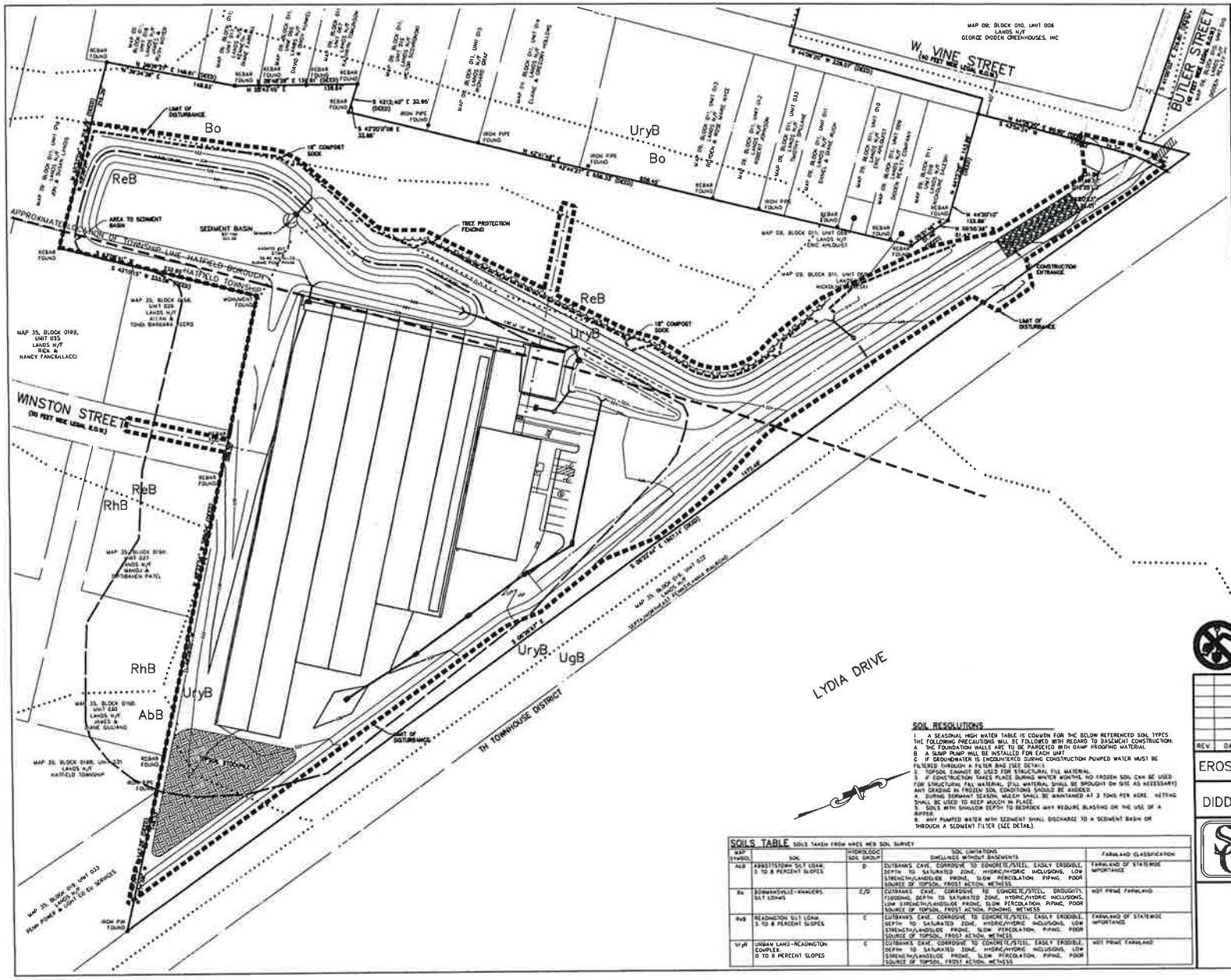
REV.	DATE	DESCRIPTION	BY

GRADING PLAN

DIDDEN GREENHOUSES

SCHLOSSER & CLAUSS
 CONSULTING ENGINEERS, INC.
 21 EAST LINCOLN AVE., SUITE 200
 HARTFORD, PA 17143-2040
 PHONE: 215-855-3500 FAX: 215-855-3300
 EMAIL: SCL@SCHLOSSER-CLAUSS.COM

SCALE: 1" = 20'
 DRAWN BY: CRK DATE: 12-08-2022
 CHECKED BY: KWC DRAWING NO.: 20005
 JOB NO.: 20005 SHEET 4 OF 12



USGS MAP
SCALE: 1"=2000'

EROSION & SEDIMENT CONTROL LEGEND:

SALT FENCE	---
SWP-LEAP	---
EXISTING WELLS WITH FILTER	---
STABILIZED CONSTRUCTION ENTRANCE	---
EXISTING CONTOUR	---
PROPOSED CONTOUR	---
SOIL TYPE BOUNDARY	---
FLOODPLAIN LINE	---
TEST PIT LOCATION	---
WATERWAYS SEPARATION LINE	---
LIMIT OF DISTURBANCE	---
EXISTING TREE LINE	---
PROPOSED TREE LINE	---
TREE PROTECTION FENCING	---

SEEDING AND MAINTENANCE INFORMATION:

PERMANENT SEEDING AND SOIL CARE:

A. SITE PREPARATION APPLY ONE (1) TON AGRICULTURAL GRADE LIMESTONE / ACRE PLUS FERTILIZER AT 30-30-30 / ACRE AND WORK IN AS DEEPLY AS POSSIBLE.

B. SEEDING AND MULCHING - MARCH 15 TO OCTOBER 15 ANNUAL PINE GRASS AT 20 LBS/ACRE PLUS PERENNIAL PINE GRASS AT 20 LBS/ACRE MAY OR STRAW MULCH AT 3 TONS/ACRE.

C. SEEDING AND MULCHING - OCTOBER 15 TO MARCH 15 (NON-SEEDING PERIOD) ANNUAL PINE GRASS AT 20 LBS/ACRE PLUS PERENNIAL PINE GRASS AT 20 LBS/ACRE MAY OR STRAW MULCH AT 3 TONS/ACRE WHICH WITH CONVENTIONALLY AVAILABLE METHOD OR ASPHALT EMULSION OR OUTBACK ENHANCER AT 150 GAL/ACRE.

D. PERMANENT SEEDING - MARCH 15 TO JUNE 15 AND AUGUST 15 TO OCTOBER 15 ANNUAL PINE GRASS AT 20 LBS/ACRE PLUS PERENNIAL PINE GRASS AT 20 LBS/ACRE MAY OR STRAW MULCH AT 3 TONS/ACRE WHICH WITH CONVENTIONALLY AVAILABLE METHOD OR ASPHALT EMULSION OR OUTBACK ENHANCER AT 150 GAL/ACRE.

E. AFTER COMPLETION OF BENCH GRADING, A MINIMUM OF 5% OF TOPSOIL SHALL BE RETURNED TO THE GRADING DISTURBED AREAS PRIOR TO FINISH GRADING AND SEEDING.

LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM RECORDS BELONGING TO THE JURISDICTION OF THE CITY OF PHILADELPHIA. THE COMPLETENESS OF LOCATION AND DEPTH CANNOT BE GUARANTEED. CONTRACTOR MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE START OF WORK BY CALLING FOR ONE CALL SYSTEM INC. - PHONE 1-800-215-1110 THREE DAYS PRIOR TO EXCAVATION. REFERENCE PENNSYLVANIA ACTS 287 & 321. DESIGN SERIAL NUMBER: _____

REV	DATE	DESCRIPTION	BY

EROSION & SEDIMENT CONTROL PLAN

DIDDEN GREENHOUSES

SCHLOSSER & CLAUSS
CONSULTING ENGINEERS, INC.
21 EAST LINCOLN AVE. SUITE 200
PHILADELPHIA, PA 19104-2340
PHONE: 215-855-2000 FAX: 215-855-3300
EMAIL: SCCL@SCHLOSSER-CLAUSS.COM

SCALE 1"=50'

DRAWN BY: CRK DATE: 12-08-2022

CHECKED BY: KWC DRAWING NO.: 20005

JOB NO.: 20005 SHEET 5 OF 12

SOIL RESOLUTIONS

1. A SEASONAL HIGH WATER TABLE IS COMMON FOR THE BELOW REFERENCED SOIL TYPES THE FOLLOWING PRECAUTIONS WILL BE FOLLOWED WITH REGARD TO BASEMENT CONSTRUCTION:

A. THE FOUNDATION WALLS ARE TO BE FINISHED WITH DAMP PROOFING MATERIAL.

B. DAMP TREATMENT SHALL BE INSTALLED ON EACH SIDE.

C. IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION PUMPED WATER MUST BE FILTERED THROUGH 20 MESH BAG FILTER.

D. TOPSOIL SAMPLES SHALL BE USED FOR STRUCTURAL FILL MATERIAL.

E. CONSTRUCTION SHALL BE SCHEDULED TO OCCUR DURING WETTER MONTHS TO PREVENT SOIL FROM BEING WASHED AWAY.

F. STRUCTURAL FILL MATERIAL SHALL BE BROUGHT ON SITE AS NECESSARY.

G. ANY CHANGES TO THESE CONDITIONS SHALL BE APPROVED BY THE ENGINEER.

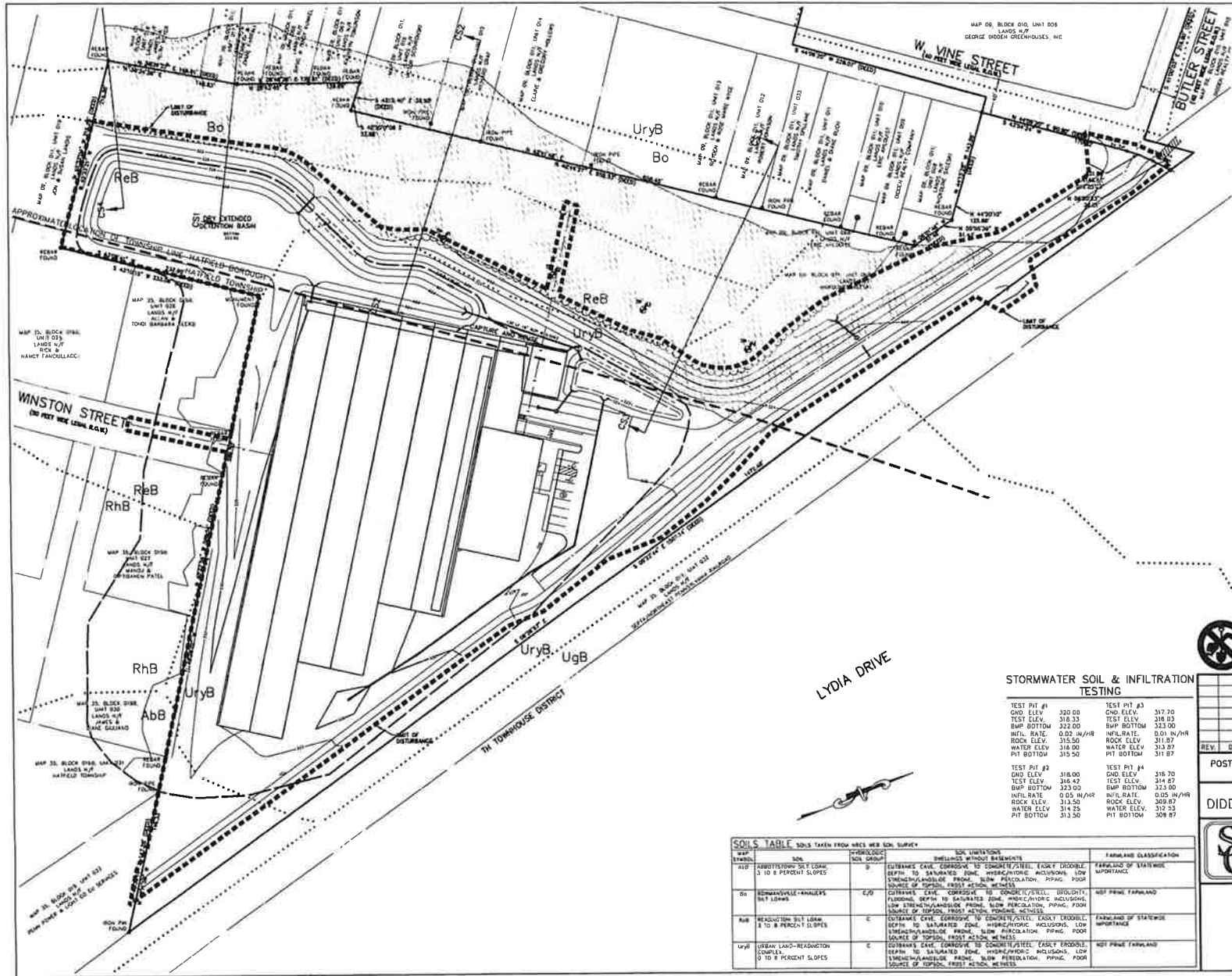
H. DURING WETTER MONTHS, WHICH SHALL BE MAINTAINED AT 3 TONS PER ACRE. NETTING SHALL BE USED TO PREVENT SOIL FROM BEING WASHED AWAY.

I. SOILS WITH SHALLOW DEPTH TO REDUCED WATER TABLE SHALL BE BLASTED OR THE USE OF A BLOWER.

J. ANY PUMPED WATER WITH SEDIMENT SHALL BE DISCHARGED TO A SEDIMENT BASIN OR THROUGH A SEDIMENT FILTER (SEE DETAIL).

SOILS TABLE SOILS TAKEN FROM HANES WEB SOIL SURVEY

SOIL SYMBOL	SOIL NAME	PERCENTAGE	SOIL GROUP	SOIL LIMITATIONS	FAHRLAND CLASSIFICATION
A8B	ARISTIDEVILLE SOILS 4 TO 8 PERCENT SLOPES	D	CLAYEY SAND, COMPACT TO ENGINEER/STEEL, EASILY ERODIBLE, DEPTH TO SATURATED ZONE, HYDROPHOBIC INCLUSIONS, LOW PERMEABILITY, LOW PERCOLATION, P.F.M.C. POOR	FAHRLAND OF STATEWIDE IMPORTANCE	
B6	EDWARDSVILLE-WARRICKS BELLEFONTAINE	E/D	CLAYEY SAND, COMPACT TO ENGINEER/STEEL, DEEP, FLOODING, DEPTH TO SATURATED ZONE, HYDROPHOBIC INCLUSIONS, LOW PERMEABILITY, AND/OR LOW PERCOLATION, P.F.M.C. POOR	NOT PRIME FAHRLAND	
B7B	READINGTON BELLEFONTAINE 4 TO 8 PERCENT SLOPES	E	CLAYEY SAND, COMPACT TO ENGINEER/STEEL, EASILY ERODIBLE, DEPTH TO SATURATED ZONE, HYDROPHOBIC INCLUSIONS, LOW PERMEABILITY, AND/OR LOW PERCOLATION, P.F.M.C. POOR	FAHRLAND OF STATEWIDE IMPORTANCE	
U7B	URBAN LAND-READINGTON COMPLEX 0 TO 8 PERCENT SLOPES	C	CLAYEY SAND, COMPACT TO ENGINEER/STEEL, EASILY ERODIBLE, DEPTH TO SATURATED ZONE, HYDROPHOBIC INCLUSIONS, LOW PERMEABILITY, AND/OR LOW PERCOLATION, P.F.M.C. POOR	NOT PRIME FAHRLAND	



USGS MAP
SCALE: 1"=2000'

POST-CONSTRUCTION STORMWATER MANAGEMENT LEGEND:

EXISTING STORM SEWER	---
PROPOSED STORM SEWER	---
EXISTING SANITARY SEWER	---
PROPOSED SANITARY SEWER	---
EXISTING WATER LINE	---
PROPOSED WATER LINE	---
EXISTING GAS LINE	---
PROPOSED GAS LINE	---
EXISTING US ELECTRIC	---
PROPOSED US ELECTRIC	---
EXISTING UTILITY POLE	---
PROPOSED UTILITY POLE	---
EXISTING LIGHT POLE	---
PROPOSED LIGHT POLE	---
EXISTING CONDUIT	---
PROPOSED CONDUIT	---
FLOODPLAIN LINE	---
EXISTING TREE LINE	---
PROPOSED TREE LINE	---
TREE PROTECTION FENCING	---
POSITIVE DRAINAGE INDICATOR	---
PROPOSED SIGN-BOX	---

LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM VARIOUS RECORDS AND/OR FIELD SURVEY INSPECTION OF THE SITE. COMPLETION OR ACCURACY OF LOCATION AND DEPTH CANNOT BE GUARANTEED. CONTRACTOR MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE START OF WORK BY CALLING 811 AND CALL SYSTEM (8-1-1) PRIOR TO EXCAVATION. REFERENCE PENNSYLVANIA ACTS 287 & 281. DESIGN SERIAL NUMBER:

STORMWATER SOIL & INFILTRATION TESTING

TEST PIT #1	TEST PIT #3
GNL ELEV. 320.00	GNL ELEV. 317.70
TEST ELEV. 318.33	TEST ELEV. 316.05
BMF BOTTOM 322.00	BMF BOTTOM 323.00
INFIL. RATE: 0.02 IN/HR	INFIL. RATE: 0.01 IN/HR
ROCK ELEV. 315.50	ROCK ELEV. 311.87
WATER ELEV. 316.00	WATER ELEV. 313.87
PIT BOTTOM 315.50	PIT BOTTOM 311.87
TEST PIT #2	TEST PIT #4
GNL ELEV. 318.00	GNL ELEV. 316.70
TEST ELEV. 316.42	TEST ELEV. 314.67
BMF BOTTOM 323.00	BMF BOTTOM 323.00
INFIL. RATE: 0.05 IN/HR	INFIL. RATE: 0.05 IN/HR
ROCK ELEV. 313.50	ROCK ELEV. 308.87
WATER ELEV. 314.25	WATER ELEV. 312.23
PIT BOTTOM 313.50	PIT BOTTOM 308.87

REV.	DATE	DESCRIPTION	BY

POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN RECORD PLAN 2 OF 4

DIDDEN GREENHOUSES

SCHLOSSER & CLAUSS
CONSULTING ENGINEERS, INC.
21 EAST LINDEN AVE., SUITE 100
HARTFORD, CT 06103-2142
PHONE: 203-855-3500 FAX: 203-855-5300
WWW.SCC-ENGINEERS.NET

SCALE 1"= 50'

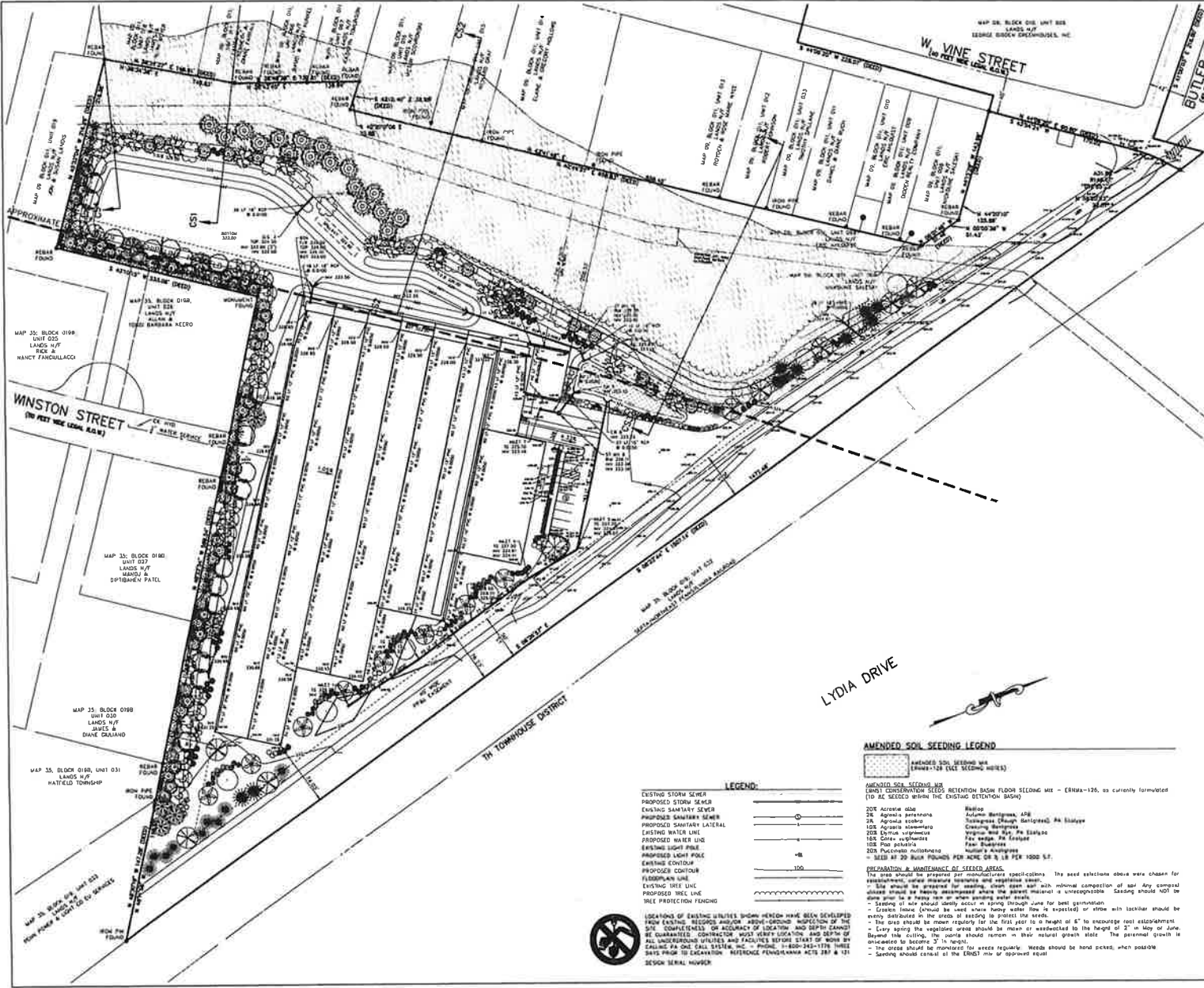
DRAWN BY: CRK DATE 12-08-2022

CHECKED BY: KWC DRAWING NO.: 20005

JOB NO. 20005 SHEET 6 OF 12

SOILS TABLE SOILS TAKEN FROM WREX WEB SURVEY

SYMBOL	SOIL	HYDROLOGIC SOIL GROUP	SOIL LIMITATIONS	FARMLAND CLASSIFICATION
A10	SPRINGFIELD SILT LOAM 3 TO 8 PERCENT SLOPES	D	PERMEABLE CAP. CORROSION TO CONCRETE/STEEL. EASY EROSION. DEPTH TO SALINATED ZONE. HYPERHYDROPHIC. OCCASIONAL, LOW STRENGTH/PLASTICITY. FLOODING. POOR SOURCE OF TOPSOIL. POOR AESTHETIC. WEEDS.	NOT FAVORABLE
B0	BRIMLEYVILLE SANDS 10 TO 15 PERCENT SLOPES	C/D	OUTSARKE CAP. CORROSION TO CONCRETE/STEEL. EASY EROSION. FLOODING. DEPTH TO SALINATED ZONE. HYPERHYDROPHIC. OCCASIONAL, LOW STRENGTH/PLASTICITY. FLOODING. POOR SOURCE OF TOPSOIL. POOR AESTHETIC. WEEDS.	FARMLAND OF STATEWIDE IMPORTANCE
B0	RENOUATION SILT LOAM 3 TO 8 PERCENT SLOPES	E	OUTSARKE CAP. CORROSION TO CONCRETE/STEEL. EASY EROSION. DEPTH TO SALINATED ZONE. HYPERHYDROPHIC. OCCASIONAL, LOW STRENGTH/PLASTICITY. FLOODING. POOR SOURCE OF TOPSOIL. POOR AESTHETIC. WEEDS.	FARMLAND OF STATEWIDE IMPORTANCE
UryB	UREAH LOAM-RENOUATION COMPLEX 0 TO 8 PERCENT SLOPES	E	OUTSARKE CAP. CORROSION TO CONCRETE/STEEL. EASY EROSION. DEPTH TO SALINATED ZONE. HYPERHYDROPHIC. OCCASIONAL, LOW STRENGTH/PLASTICITY. FLOODING. POOR SOURCE OF TOPSOIL. POOR AESTHETIC. WEEDS.	NOT FAVORABLE



LANDSCAPING REQUIREMENTS

A. BUFFERS (SUO 200-3A)

1. EASTERN PROPERTY LINE
USE = COMMERCIAL/RESIDENTIAL
NO BUFFER REQUIRED

2. NORTHWEST PROPERTY LINE
USE = COMMERCIAL/RESIDENTIAL
EXISTING VEGETATION SATISFIES

3. SOUTHWEST PROPERTY LINE
USE = COMMERCIAL/RESIDENTIAL
NO BUFFER = 8' BUFFER BUFFER 88' IF PROPERTY LINE
40' BUFFER NEED THREE 1/2" SHADE TREES, FIVE 0-8' EVERGREEN TREES AND TEN 24" SHRUBS PER 100 LINEAL FEET OF PROPERTY BOUNDARY FOR EVERY 20 FEET OF BUFFER WIDTH.
1.5M PDS = 11.84 (2) = 2 = 70 SHADE TREE, 240 SHRUBS
10' BUFFER BUFFER NEED 3 SHADE TREES, 5 EVERGREEN TREES & 10 SHRUBS PER 100 LF
1.5M PDS = 11.84 (2) = 24 SHADE TREES, 80 EVERGREEN TREES, 120 SHRUBS **WAIVER REQUESTED

4. STREET TREES (SUO 200-3A)

1. (2.5) SHADE TREE PER 40' IF MAX. AND 50' IF MAX. ALONG FRONTAGE
100' LF FRONTAGE/20' = 5(2.5) TREES REQUIRED
STREET FRONTAGE IS IN HALF-LED THROUGH
STREET TREES

5. REQUIRED PLANTINGS (SUO 200-3A)

A. CROSS BUILDING AREA PLANTINGS

1 (1") EVERGREEN TREES	100/2-14	10'	25
2 (4") 0-8' EVERGREEN TREES	100/2-14	10'	25
4 (1M) DECIDUOUS SHRUBS	210/2-108	10'	18
4 (1M) EVERGREEN SHRUBS	210/2-108	10'	18

PROPOSED BUILDING 18,244 SF/2,000 SF = 9

DECIDUOUS TREE 100/2-14 10' 25
EVERGREEN TREE 100/2-14 10' 25
DECIDUOUS SHRUB 210/2-108 10' 18
EVERGREEN SHRUB 210/2-108 10' 18

USE 3" INSTEAD OF 1.5"
USE 0' TO 10' INSTEAD OF 4' TO 5'
USE 30" INSTEAD OF 18"

B. NET SITE AREA PLANTINGS

1 (1") 0-8' EVERGREEN TREES	PER 20,000 SF		
2 (4") 0-8' EVERGREEN TREE	PER 20,000 SF		
2 (1M) EVERGREEN SHRUBS	PER 20,000 SF		

NET SITE AREA = 208,243/20,000 SF = 10

DECIDUOUS TREE 100/2-14 10' 25
EVERGREEN TREE 100/2-14 10' 25
DECIDUOUS SHRUB 207/2-10 10' 0
EVERGREEN SHRUB 207/2-10 10' 0

USE 3" INSTEAD OF 1.5"
USE 0' TO 10' INSTEAD OF 4' TO 5'
USE 30" INSTEAD OF 18"

6. REPLACEMENT TREES (SUO 200-3A)

FOR EVERY EXISTING TREE 8" OR MORE WHICH IS TO BE REMOVED
A NEW TREE OF THE SAME OR HAVING A DIAMETER OF 1.5" SHALL BE PLANTED IN ITS PLACE

REPLACEMENT TREES

7. PARKING AREA TREES (SUO 200-3A)

(2.5) SHADE TREE FOR EVERY 10 SPACES
PROPOSED PARKING = 8 SPACES NEW

PARKING AREA TREES

8. DETENTION BASIN LANDSCAPING (SUO 200-3A)

ONE 1.5" SHADE TREE, ONE 1.5" FLOWERING TREE, ONE 4-5' EVERGREEN TREE, ONE 18" SHRUB NO LF OF BASIN PERIMETER
PROPOSED BASIN = 1,000 LF

REQUIRED: 1.050 / 40' = 26 SHADE TREES, 26 FLW, 26 SHRUBS

SHADE TREE 26 1.5 0
FLOWERING TREE 26 1.5 0
EVERGREEN TREE 26 1.5 0
SHRUB 26 1.5 0

USE 3" INSTEAD OF 1.5"
USE 0' TO 10' INSTEAD OF 4' TO 5'
USE 30" INSTEAD OF 18"

AMENDED SOIL SEEDING LEGEND

AMENDED SOIL SEEDING MIX
LENS CONSTRUCTION CLOSURE RETENTION BASIN SEEDING MIX - ERNEX-125, as currently formulated (TO BE SEEDS WITHIN THE EXISTING DETENTION BASIN)

30R	Acrocalyx	Hylois
24	Agrostis perfoliata	Hylois
24	Agrostis perfoliata	Hylois
10R	Agrostis perfoliata	Hylois
20R	Agrostis perfoliata	Hylois
10R	Agrostis perfoliata	Hylois
10R	Agrostis perfoliata	Hylois
10R	Agrostis perfoliata	Hylois
10R	Agrostis perfoliata	Hylois
10R	Agrostis perfoliata	Hylois

PREPARATION & MAINTENANCE OF SEED AREAS
The area should be prepared per manufacturer specifications. The seed establisment above were chosen for establishment, unless moisture tolerance and resistance to deer.
Site should be prepared for seeding, clean, even soil with minimal compaction of soil. Any coarse debris should be removed, especially when the ground is covered with a hydrophobic coating. Seeding should NOT be done prior to a heavy rain or when standing water is present.
Seeding should be done in early spring (April - June) for best germination.
Seeding should be done in the areas of seeding to protect the seeds.
The area should be mowed regularly (at least 10' to 12' height) or 8' to 10' to encourage root establishment.
Beyond this timing, the vegetation should be mowed or reduced to the height of 2" in May or June.
The area should be monitored to erect regularly. Weeds should be hand pulled, when possible.
Seeding should consist of the (LHC) mix or approved equal.

LEGEND

---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING LIGHT POLE
---	PROPOSED LIGHT POLE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	FLOODPLAIN LINE
---	EXISTING TREE LINE
---	PROPOSED TREE LINE
---	TREE PROTECTION FENCING

LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM EXISTING RECORDS AND/OR SURVEY-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH CANNOT BE GUARANTEED. CONTRACTOR MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE START OF WORK BY CALLING THE ONE CALL SYSTEM, INC. - PHONE: 1-800-363-1176 THREE DAYS PRIOR TO EXCAVATION. REFERENCE PENNSYLVANIA ACTS 387 & 381 DESIGN SERIAL NUMBER

REV	DATE	DESCRIPTION	BY

LANDSCAPE PLAN

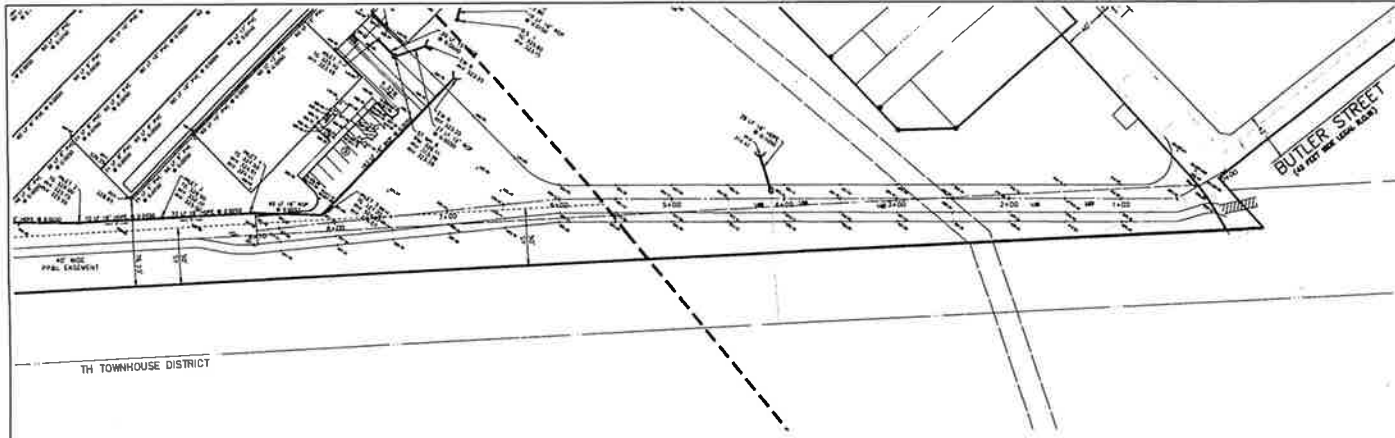
DIDDEN GREENHOUSES

SPLATE
HATFIELD TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA

SCHLOSSER & CLAUSS
CONSULTING ENGINEERS, INC.
21 EAST LINDOCH AVE., SUITE 300
PHILADELPHIA, PA. 19103-2900
PHONE: 215-853-3000 FAX: 215-853-3300
EMAIL: SCS@SCHLOSSER-CAUSS.COM

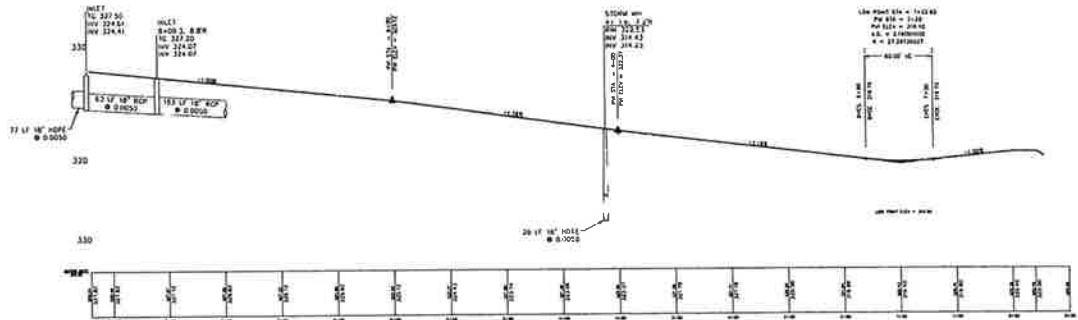
SCALE 1" = 50'

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CHECKED BY: KWC	DRAWING NO: 20005
JOB NO. 20005	SHEET 7 OF 12

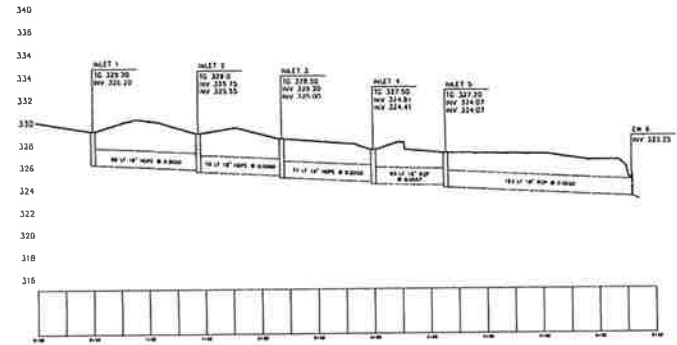


CONSTRUCTION IMPROVEMENT LEGEND:

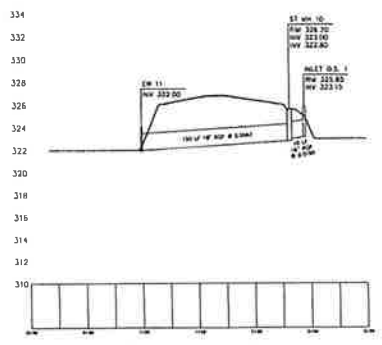
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING GAS LINE
- PROPOSED GAS LINE
- EXISTING 40 ELECTRIC
- PROPOSED 40 ELECTRIC
- EXISTING UTILITY POLE
- PROPOSED UTILITY POLE
- EXISTING LIGHT POLE
- PROPOSED LIGHT POLE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- FLOODPLAIN LINE
- EXISTING TREE LINE
- PROPOSED TREE LINE
- TREE PROTECTION FENCING
- POSITIVE DRAINAGE INDICATOR
- PROPOSED RFP-RAP



DRIVEWAY PROFILE
1"=5' VERT
1"=50' HORIZ



INLET 1 TO EW 6



O.S. 1 TO EW 11

LOCATIONS OF EXISTING UTILITIES SHOWN HEREIN HAVE BEEN DEVELOPED FROM RECORDS, RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH CANNOT BE GUARANTEED. CONTRACTOR MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE START OF WORK BY CALLING FOR ONE CALL SYSTEM HOT-LINE: 1-800-367-3378 THREE DAYS PRIOR TO EXCAVATION. REFERENCE PENNSYLVANIA ACTS 287 & 281. DESIGN SHEET NUMBER.

REV.	DATE	DESCRIPTION	BY

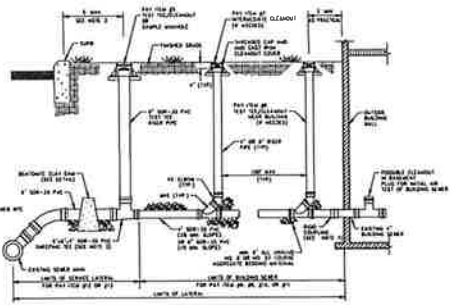
CONSTRUCTION IMPROVMENT PLAN

DIDDEN GREENHOUSES

SCHLOSSER & CLAUSS
CONSULTING ENGINEERS, INC.
31 EAST LINCOLN AVE. SUITE 200
HARTFORD, PA. 17110-2345
PHONE: 215-855-3300 FAX: 215-855-3300
EMAIL: SCCL_ACCOUNT@AOL.COM

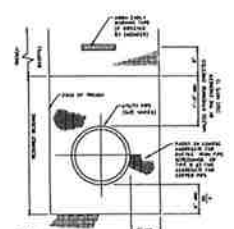
SCALE 1"= 50'

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CHECKED BY: KWC	DRAWING NO: 20005
JOB NO: 20005	SHEET 8 OF 12

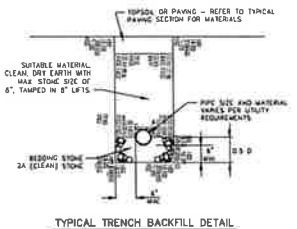


NOTES
 1. PIPE SIZE AND MATERIAL TO BE IN ACCORDANCE WITH TRENCH WALLS AND REGULATIONS
 2. UNLESS NOTED TO THE CONTRARY, TRENCH SHALL BE CONSTRUCTED WITH 4' SIDING
 3. 4" OF CLEAN, DRY EARTH, AND COMPACTED TO 95% OF STANDARD SPECIFICATION SHALL BE PROVIDED TO COVER THE TOP OF THE PIPE
 4. BEDDING STONE SHALL BE 24" DIA. (MINIMUM) AND 1 1/2" THICK (MINIMUM)

REPLACEMENT OF BUILDING SEWER AND/OR SERVICE LATERAL
 NOT TO SCALE



STANDARD WATER PIPE BEDDING
 NTS



TYPICAL TRENCH BACKFILL DETAIL
 NTS

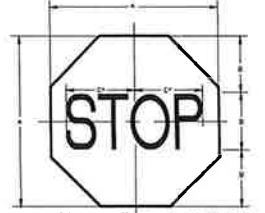
NOTES
 1. SPECIAL CONDITIONS OF OCCUPANCY PERMITS MAY SUPERSEDE THIS DETAIL.
 2. FOR HOPE PIPE, A MINIMUM OF 12" OF CLEAN STONE, COMPACTED TO MANUFACTURED SPECIFICATIONS SHALL BE PROVIDED COMPLETELY AROUND THE PIPE.



RESERVED PARKING SIGN (R7-3)
 LEGEND AND BORDER - GREEN (NON-REFLECTIVE) BACKGROUND - WHITE (NON-REFLECTIVE) LETTERS - WHITE (NON-REFLECTIVE) BACKGROUND - BLUE (NON-REFLECTIVE)



RESERVED PARKING FINE PLACARD (R7-8)
 LEGEND AND BORDER - RED (NON-REFLECTIVE) BACKGROUND - WHITE (NON-REFLECTIVE) LETTERS - WHITE (NON-REFLECTIVE)



STOP SIGN
 COLOR - LEGEND AND BORDER - BLACK (NON-REFLECTIVE) BACKGROUND - RED (REFLECTIVE)

SIGN SIZE	DIMENSIONS			SIGN AREA	SIGN AREA PER SIDE	BLANK SIGN
	A	B	C			
24x24	24	8	16	5.76	2.88	81-24
30x30	30	10	20	9.00	4.50	81-30
36x36	36	12	24	12.96	6.48	81-36
48x48	48	16	32	23.04	11.52	81-48

(R1-1) 'STOP' SIGN DETAIL
 NTS

NOTES
 1. REFER TO PA. DOT PUB 58 - OPTIONAL TRAFFIC CONTROL DEVICES - TITLE 87, CHAPTER 211 - SECTION 211.53 FOR ADDITIONAL NOTES.
 2. ALL ABOVE DIMENSIONS ARE IN INCHES



HANDICAP WHEELCHAIR SYMBOL
 NTS

LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM EXISTING RECORDS AND FOR INFORMATION PURPOSES ONLY. THE COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH CANNOT BE GUARANTEED. CONTRACTOR MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE START OF WORK BY CALLING FOR ONE CALL SYSTEM, INC. - PHONE: 1-800-445-1159. THREE DAYS PRIOR TO EXCAVATION. REFERENCE PENNSYLVANIA ACTS 28P & 27P DESIGN SERIAL NUMBER:



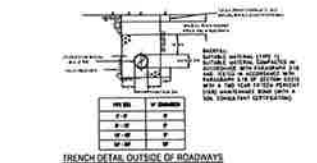
REV.	DATE	DESCRIPTION	BY

CONSTRUCTION DETAILS

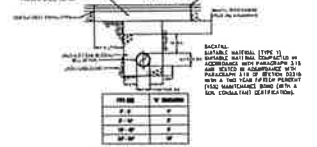
DIDDEN GREENHOUSES

SCHLOSSER & CLAUSS
 CONSULTING ENGINEERS, INC.
 21 EAST LINDEN AVE., SUITE 208
 HATFIELD, PA. 19340-1540
 PHONE: 315-855-2000 FAX: 315-855-3300
 EMAIL: SCCL@SCHLOSSER-CLAUSS.COM

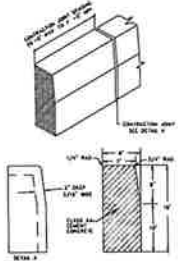
SCALE	AS NOTED
DRAWN BY:	CRK DATE: 12-08-2022
CHECKED BY:	KWC DRAWING NO.: 20005
JOB NO.:	20005 SHEET 9 OF 12



TRENCH DETAIL OUTSIDE OF ROADWAYS
 NTS



TRENCH DETAIL
 NTS



CONSTRUCTION DETAIL TYPICAL CURB SECTION
 NTS

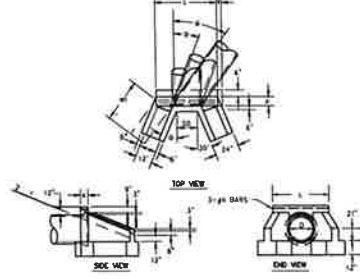
PLAIN CEMENT CONCRETE CURB DETAIL
 NTS

NOTES
 1. REFER TO PA. DOT STANDARD PLAN 474 FOR THIS DETAIL.
 2. CONTRACTOR TO VERIFY WITH THE DEPARTMENT OF TRANSPORTATION THE SECTION USE.

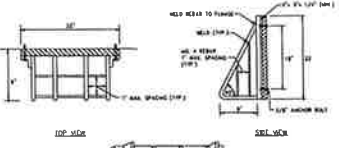


TYPICAL PAVEMENT SECTION INTERIOR DRIVEWAY AND PARKING LOT
 NTS

NOTE:
 1. PAVING SPECIFICATIONS SHALL BE IN CONFORMANCE WITH PLANS/NOT STANDARDS, FOR 405, SECTION 310.

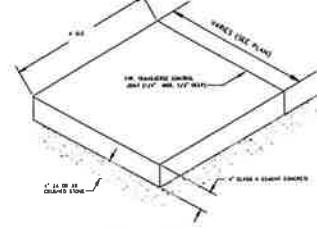


TYPE D W ENDWALL DETAIL
 NTS



TRASH RACK - OUTLET STRUCTURE #2
 NTS

NOTES
 1. THIS TRASH RACK IS CONSTRUCTED TO BE USED AS A FILTER FOR SOLIDS AND TO PREVENT SOLIDS FROM ENTERING THE TRENCH.
 2. THE TRASH RACK SHALL BE CONSTRUCTED TO BE USED AS A FILTER FOR SOLIDS AND TO PREVENT SOLIDS FROM ENTERING THE TRENCH.



CONVENTIONAL SIDEWALK
 NTS

NOTES
 1. THE CURB IS TO BE CONSTRUCTED TO BE USED AS A FILTER FOR SOLIDS AND TO PREVENT SOLIDS FROM ENTERING THE TRENCH.
 2. THE CURB SHALL BE CONSTRUCTED TO BE USED AS A FILTER FOR SOLIDS AND TO PREVENT SOLIDS FROM ENTERING THE TRENCH.

**Hatfield Township
Zoning Hearing Board**

July 30, 2021

Robert J. Iannozzi, Esquire
1800 Pennbrook Parkway, Suite 200
Lansdale, PA 19446

George Didden Greenhouses Inc.
57 West Vine Street
Hatfield, PA 19440

Re: Hatfield Township Zoning Hearing Board Application Z21-10

Bob,

This firm serves as Solicitor to the Hatfield Township Zoning Hearing Board. This will confirm that the Board, at its Public Meeting last evening, voted to approve the above-named Application of George Didden Greenhouses Inc. for variances from Hatfield Township Zoning Ordinance (the "Ordinance") §282-24 (Use regulations); §282-27.A (Building coverage); and §282-27.B(2)(Impervious coverage) to permit expansion of an existing wholesale greenhouse use with associated construction at 57 West Vine Street, Montgomery County Parcels 35-00-02218-013 and 09-00-00313-002.

This approval is granted subject to the conditions:

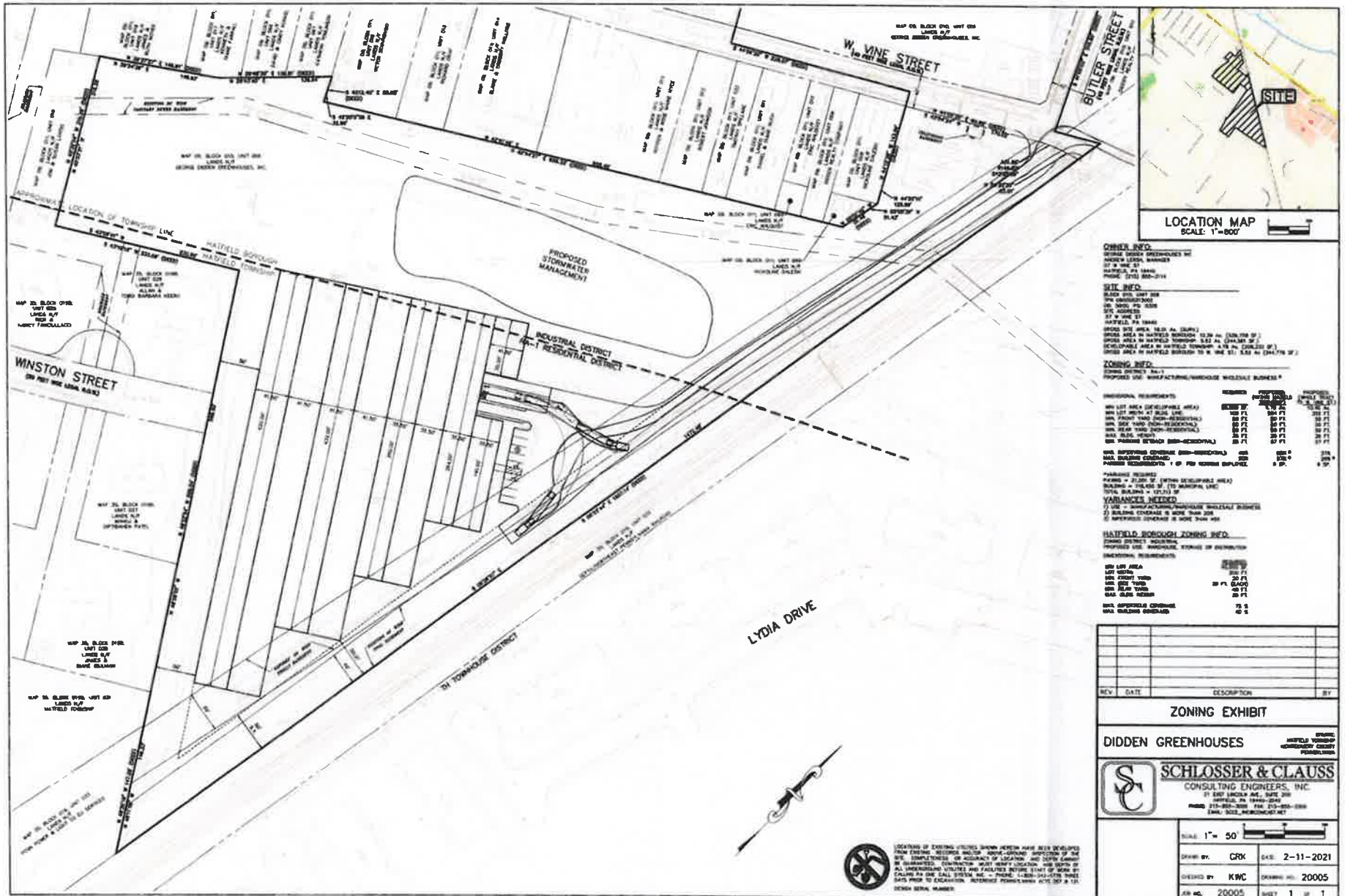
- 1) that the Applicant will proceed through the Township's land development approval process and obtain such an approval, or formal waiver therefrom, by the Board of Commissioners;
- 2) that development and use of the subject property shall be in substantial conformance with the testimony and exhibits presented on behalf of the Applicant at the Public Hearing on this matter, including (without limitation) the Plan attached hereto;
- 3) that formal hours of operation at the subject property shall be weekdays 7:00 AM to 5:00 PM, and Saturdays during the Spring (March 15 to June 15) and Fall (September 15 to December 15) 7:00 AM to 5:00 PM;

- 4) that there shall be no reverse alarms or other loud machinery operation prior to 9:00 AM on any Saturday;
- 5) that evergreen landscaping shall be installed and maintained along the perimeter of the subject property in the form and substance determined in the reasonable discretion of Hatfield Township professional consultants as part of the Hatfield Township land development review process; and
- 6) that the Applicant shall cooperate in good faith with the Township, as part of the land development process, to extend and connect the Liberty Bell Trail upon the subject property.

This correspondence constitutes the written decision of the Board to approve the uncontested Application, and no further findings, conclusions, or reasons will be issued.



Joseph C. Kuhls



OWNER INFO:
 GEORGE DIDDEN GREENHOUSES INC
 GEORGE DIDDEN, PRESIDENT
 27 W WINE ST
 HATFIELD, PA 19040
 PHONE: (717) 888-2114

SITE INFO:
 BLOCK 016, LOT 008
 1/2 AC CONVEYED 2005
 1/2 AC W/IN P/2 0205
 SITE ADDRESS:
 27 W WINE ST
 HATFIELD, PA 19040
 ZONING DISTRICT: 19-000 (40)
 ZONING AREA: 18.20 AC (24,776 SF)
 ZONING AREA IN HATFIELD ZONING: 12.20 AC (174,776 SF)
 ZONING AREA IN HATFIELD ZONING: 4.82 AC (68,428 SF)
 SCHEDULED AREA IN HATFIELD ZONING: 4.78 AC (68,128 SF)
 ZONING AREA IN HATFIELD ZONING: 10 W WINE ST: 4.82 AC (68,428 SF)

ZONING INFO:
 ZONING DISTRICT 19-000 (40)
 PROPOSED USE: MANUFACTURING/WAREHOUSE W/RETAIL BUSINESS

FUNCTIONAL REQUIREMENTS:

MIN LOT AREA (DEVELOPABLE AREA)	MINIMUM	PROPOSED	MAXIMUM
MIN LOT AREA AT FULL USE	20 FT	20 FT	20 FT
MIN FRONT YARD (NON-RESIDENTIAL)	20 FT	20 FT	20 FT
MIN SIDE YARD (NON-RESIDENTIAL)	20 FT	20 FT	20 FT
MIN REAR YARD (NON-RESIDENTIAL)	20 FT	20 FT	20 FT
MIN SIDE SETBACK (NON-RESIDENTIAL)	20 FT	20 FT	20 FT
MIN FRONT SETBACK (NON-RESIDENTIAL)	20 FT	20 FT	20 FT

MAX APPROVED COVERAGE (NON-RESIDENTIAL) 80%
MAX BUILDING COVERAGE 80%
PARKING REQUIREMENTS: 1 of 100 VEHICLE SPACES

PARKING REQUIREMENTS:
 PARKING = 21,200 SF (1870 DEVELOPABLE AREA)
 BUILDING = 1/2 AC OF (19 MANIPUL. LINE)
 TOTAL BUILDING = 17,713 SF

VARIANCES NEEDED:
 1) USE OF MANUFACTURING/WAREHOUSE W/RETAIL BUSINESS
 2) BUILDING COVERAGE IS MORE THAN 20%
 3) APPROVED COVERAGE IS MORE THAN 20%

HATFIELD BOROUGH ZONING INFO:
 ZONING DISTRICT 19-000 (40)
 PROPOSED USE: MANUFACTURING, STORAGE OR DISTRIBUTION

FUNCTIONAL REQUIREMENTS:

MIN LOT AREA	MINIMUM	PROPOSED	MAXIMUM
MIN LOT AREA	20 FT	20 FT	20 FT
MIN FRONT YARD	20 FT	20 FT	20 FT
MIN SIDE YARD	20 FT	20 FT	20 FT
MIN REAR YARD	20 FT	20 FT	20 FT
MIN SIDE SETBACK	20 FT	20 FT	20 FT
MIN FRONT SETBACK	20 FT	20 FT	20 FT

MAX APPROVED COVERAGE 75%
MAX BUILDING COVERAGE 75%

REV	DATE	DESCRIPTION	BY

ZONING EXHIBIT

DIDDEN GREENHOUSES

SCHLOSSER & CLAUSS
 CONSULTING ENGINEERS, INC.
 31 EAST BRADLEY AVE., SUITE 200
 HATFIELD, PA 19040-2004
 PHONE: 610-882-2000 FAX: 610-882-0088
 EMAIL: SCCL_MHC@COMCAST.NET

SCALE: 1" = 50'

DRAWN BY:	CRK	DATE:	2-11-2021
CHECKED BY:	KWC	DRAWING NO.:	20005
REV. NO.:	20005	SHEET:	1 OF 1

LOCATIONS OF EXISTING UTILITIES SHOWN HEREIN HAVE BEEN DEVELOPED FROM EXISTING RECORDS AND/OR SURVEY-GROUND INFORMATION OF THE TOWN OF HATFIELD. THE LOCATION, DEPTH AND CHARACTER OF ALL UTILITIES ARE GUARANTEED NEARLY EXACT LOCATION AND DEPTH. THE TOWN OF HATFIELD IS NOT RESPONSIBLE FOR THE LOCATION, DEPTH OR CHARACTER OF ALL UTILITIES SHOWN AND FAILURE TO VERIFY THE LOCATION OF UTILITIES PRIOR TO EXCAVATION. INFORMATION PROVIDED HEREIN IS FOR THE USE OF THE DESIGN PROFESSIONAL ONLY.

4. Old Business:

A. Edinburgh Square Update

B. Bennetts Court Update

C. 43 Roosevelt Update

**D. 200 N. Main Street, Alliance
Housing Development, Update**

**E. 23 N. Main Street, Arbor Grove
Development, Update**

5. New Business:

**A. Zoning Hearing Board Meeting
Announcement
14 N. Market Street**

ZONING HEARING SCHEDULED MARCH 23rd

COPY

Date Received: 11/26/25
 Fee Paid: 1400
 Date Application Made Complete: 11/26/25
 1st Ad _____ 2nd Ad _____
 Date of Hearing: _____

HATFIELD BOROUGH ZONING HEARING BOARD APPLICATION# _____

PAID

Application is hereby made to the Zoning Hearing Board for a determination in connection with the following facts:

Name of Applicant: Julian + Bernadette Hauch Name of Owner: Kucenic + Strickland PA.
 Address: _____ Address: _____
 City, State and Zip: _____ City, State and Zip: _____
 Phone Number: _____ Phone Number: _____
 Email: _____ Email: _____
 Name of Attorney: _____ Attorney Phone Number: _____
 Address: _____ City: _____ State: _____ ZIP: _____
 Email: _____

Applicant and Owner request that a determination be made by the Zoning Hearing Board on this Appeal from the Decision of the Code Enforcement Department in which we were:

- Refused a building Permit
- Given conditional approval of a subdivision plan
- Other (specify) Told we needed a Variance to change office use to a residential use.
- Ordered to Cease a current use

This appeal seeks:

- An interpretation of the ordinance or map
- A special exception under Article _____, Section _____, Subsection _____, Paragraph _____
- A Variance relating to the Use, Area, Frontage, Yard, Height, Parking.
- Other (specify) _____

The applicable provisions of the Zoning Ordinance are as follows:

Chapter <u>27</u>	Section <u>2102</u>	Subsection <u>1</u>	Paragraph <u>A</u>
<u>W</u> Chapter <u>27</u>	Section <u>703</u>	Subsection <u>1</u>	Paragraph <u>B(2)</u>
Chapter _____	Section _____	Subsection _____	Paragraph _____
Chapter _____	Section _____	Subsection _____	Paragraph _____

The description of the property involved in this appeal is as follows:

Street Number: 14 Street Name: North Market Street Deed Book: _____ Page: _____
 Block Number: _____ Unit Number: _____ Parcel Number: 09-00-01369-00-8
W Zoning District: CC Served by Public Sewer (y/n) Y Served by Public Water (y/n) Y
 Lot Size: 11,511 Lot Dimensions: _____ Street Frontage: _____

Describe the present use of the property and the existing improvements: Residential / Office

Describe the proposed use of the property and the proposed improvements: 2 Unit Residential

Upgrade the existing utilities and kitchen, bathrooms and bedrooms
 Has any previous petition been filed with the Zoning Board in connection with these premises? Yes No

If yes, please describe _____ Is this property a part of a subdivision previously approved by the Borough? Yes No

If yes, give name of subdivision _____ Date of approval by Borough _____

I/We believe that the Zoning Board should approve this request because: Currently there are two

Residential Buildings one on the property, built in 1895.

Rear building - 1st Floor - 2 Bedroom, Kitchen, Living Room & Full bath

Carriage House 2nd Floor 2 Bedroom, Kitchen Living Room 2 Full bath

Front building Original Home

Rear Apt. 1st + 2nd Floor - 2 Bedroom, Kitchen, Living Room 1 Full Bath.

Front Apt. 1st + 2nd Floor - 3 Bedroom, Kitchen, Living Room,

Dining Room, Powder Room, office + 1 Full Bath

The Front Apt is the space for the appeal. It is currently being used by the owners Kucenre + Strickland PA Partnership as a office.

It would be cost prohibitive to subdivide the space into Commercial on First Floor and residential on the second floor. Also there would be no way to safely access the second floor. The first floor is currently set up for

STATE OF PENNSYLVANIA: SS a 3 Bedroom residential unit. We asking to be permitted to use it as such.

COUNTY OF MONTGOMERY: BEING DULY SWORN ACCORDING TO LAW, DEPOSE(S)

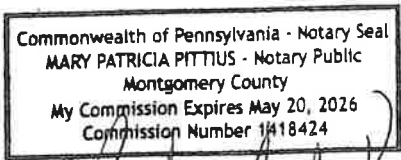
AND SAY(S) THAT THE FACTS SET FORTH IN THE FOREGOING APPLICATION ARE TRUE AND CORRECT.

Sworn and subscribed to

[Signature]
Applicant
[Signature]
Applicant

before me, this 23 day
of January, 2023

Mary Patricia Pittius
Notary Public



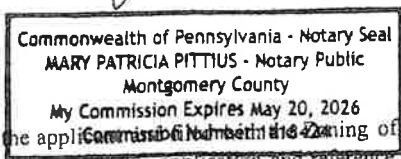
Property owner(s) must join in the above application.

Sworn and subscribed to

[Signature]
Owner
[Signature]
Owner

before me, this 23 day
of January, 2023

Mary Patricia Pittius
Notary Public



This application must be filled out and signed by the owner and the applicant in the presence of a zoning officer along with the appropriate fee. If more space is required, attach a separate sheet to this application and reference the question being answered. The application must be accompanied by:

1. Copy of the deed showing current ownership.
2. Copies of leases or agreements affecting the premises.
3. Notarized zoning application and corporate sealed for companies.
4. Eight copies of the plan of real estate affected showing the location and dimension of improvements now erected and proposed, parking spaces, all dimensional requirements of the zoning ordinance, the building envelope, rights of way and easements. The plan must be prepared and sealed by a Professional Engineer or Registered Land Surveyor unless waived by consensus of the Zoning Officer and Borough Engineer.

6. Action Items:

**7. Next Meeting Monday,
April 3, 2023, 7:00PM**

8. Motion to Adjourn